

ANNEXURE "A"
AFFIDAVIT OF MAROUN ANTOINE DRAYBI – 18 November 2021

COURT DETAILS

Court	Land and Environment Court of New South Wales
Division	Class 1
Registry	Land and Environment Court
Case number	2021/00168725

TITLE OF PROCEEDINGS

Applicant	A & A Development Pty Limited ACN 074 089 240
Respondent	Cumberland City Council

CERTIFICATE IDENTIFYING EXHIBIT

This and the following 43 pages is the annexure marked "A" referred to in the affidavit of Maroun Antoine Draybi sworn before me on 18 November 2021.

Signature of witness

Name of witness

Address of witness

Capacity of witness



John Micheal Boustany

20 Fennell Street, Parramatta NSW 2150

Solicitor



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e: henry@themoma.com.au
a: suite 604, 8 Help st, Chatswood NSW 2067

DEVELOPMENT APPLICATION

PROPOSED MIXED-USE DEVELOPMENT
22-24 PARK ROAD, AUBURN

DRAWING LIST

DRAWING NO. DRAWING NAME

A 0.00	Cover
A 0.01	Development Summary
A 0.02	Site Analysis Plan
A 1.00	Basement 3
A 1.01	Basement 2 Plan
A 1.02	Basement 1 Plan
A 1.03	Ground Floor Plan
A 1.04	Level 1 Plan
A 1.05	Level 2-10 Plan
A 1.07	Roof Plan / Site Plan
A 2.00	North Elevation
A 2.01	West Elevation
A 2.02	South Elevation
A 2.03	East Elevation
A 2.04	StreetScape Elevation
A 3.00	Section (East-West)
A 3.01	Section (North-South)
A 3.02	Section (North-South)
A 4.00	Schedule of Materials and Finishes
A 4.01	FRONT ENTRY FACADE
A 5.01	Elevational Shadow Study - 21 June 1 PM (Park Road)

A 5.02	Elevational Shadow Study - 21 June 2 PM (Park Road)
A 5.03	Elevational Shadow Study - 21 June 3 PM (Park Road)
A 5.04	Elevational Shadow Study - 21 June 9 AM (Rear)
A 5.05	Elevational Shadow Study - 21 June 10 AM (Rear)
A 5.06	Elevational Shadow Study - 21 June 11 AM (Rear)
A 5.20	SHADOW - UNIT 05 / 10AM 21JUNE (HIGHER LEVEL UNITS)
A 5.21	SHADOW - UNIT 05 / 11AM 21JUNE (HIGHER LEVEL UNITS)
A 5.22	SHADOW - UNIT 05 / 12PM 21JUNE (HIGHER LEVEL UNITS)
A 5.23	SHADOW - UNIT 05 / 1PM 21JUNE (HIGHER LEVEL UNITS)
A 5.30	SHADOW - UNIT 05 / 10AM 21JUNE (LOWER LEVEL UNITS)
A 5.31	SHADOW - UNIT 05 / 11AM 21JUNE (LOWER LEVEL UNITS)
A 5.32	SHADOW - UNIT 05 / 12PM 21JUNE (LOWER LEVEL UNITS)
A 5.33	SHADOW - UNIT 05 / 1PM 21JUNE (LOWER LEVEL UNITS)
A 6.00	Shadow Diagram - 21 March
A 6.01	Shadow Diagram - 21 June
A 6.02	Shadow Diagram - 21 September
A 6.03	Shadow Diagram - 21 December
A 6.04	Shadow Impact - 21 June
A 6.10	Cross Ventilation and Solar Access
A 6.20	Site Management Plan
A 6.30	GFA CALCULATION
A 9.00	Notification Plan

Issue	Description	Date
A	ISSUE FOR DA SUBMISION	15/04/2020
B	ISSUE FOR DA SUBMISION	17/07/2020
C	ISSUE FOR DA AMENDMENT	11/12/2020
D	ISSUE FOR DA AMENDMENT	07/09/2021
F	ISSUE FOR S34	06/10/2021
G	ISSUE FOR S34	04/11/2021

Client Name

Stella Developments

Project Name

22-24 PARK ROAD, AUBURN

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Drawing Title

Development Summary

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 0.01	DA	G

Development Statistics

Site Area

1226.3 sqm

GFA Gross Floor Area

Proposed

Ground	105 sqm
Level 01	562 sqm
Level 02	607 sqm
Level 03	607 sqm
Level 04	607 sqm
Level 05	607 sqm
Level 06	607 sqm
Level 07	607 sqm
Level 08	607 sqm
Level 09	607 sqm
Level 10	607 sqm

Total

6130 sqm

FSR

5.00 :1

Schedule of Units

Level	S	1B	2B	3B	Total
Ground		0			0
Level 01	1	0	5	1	7
Level 02	1	1	5	1	8
Level 03	1	1	5	1	8
Level 04	1	1	5	1	8
Level 05	1	1	5	1	8
Level 06	1	1	5	1	8
Level 07	1	1	5	1	8
Level 08	1	1	5	1	8
Level 09	1	1	5	1	8
Level 10	1	1	5	1	8

Total

10

9

50

10

79

Unit Mix

12.7%

11.4%

63.3%

12.7%

100%

Schedule of Car Parking

Residential

Unit Type	No. of Units	Percentage	Parking Rate	No. of Spaces Required	Proposed
S	10	13%	0 per unit	0	0
1B	9	11%	1 per unit	9	9
2B	50	63%	1 per unit	50	50
3B	10	13%	2 per unit	20	20
Visitors			0.2 per unit	15.8	16

95

Retail

Area (m2)	Parking Rate	No. of Spaces Required	Proposed
70	1 per 40m2	1.8	2

2

Total (Resi+Comm)

97



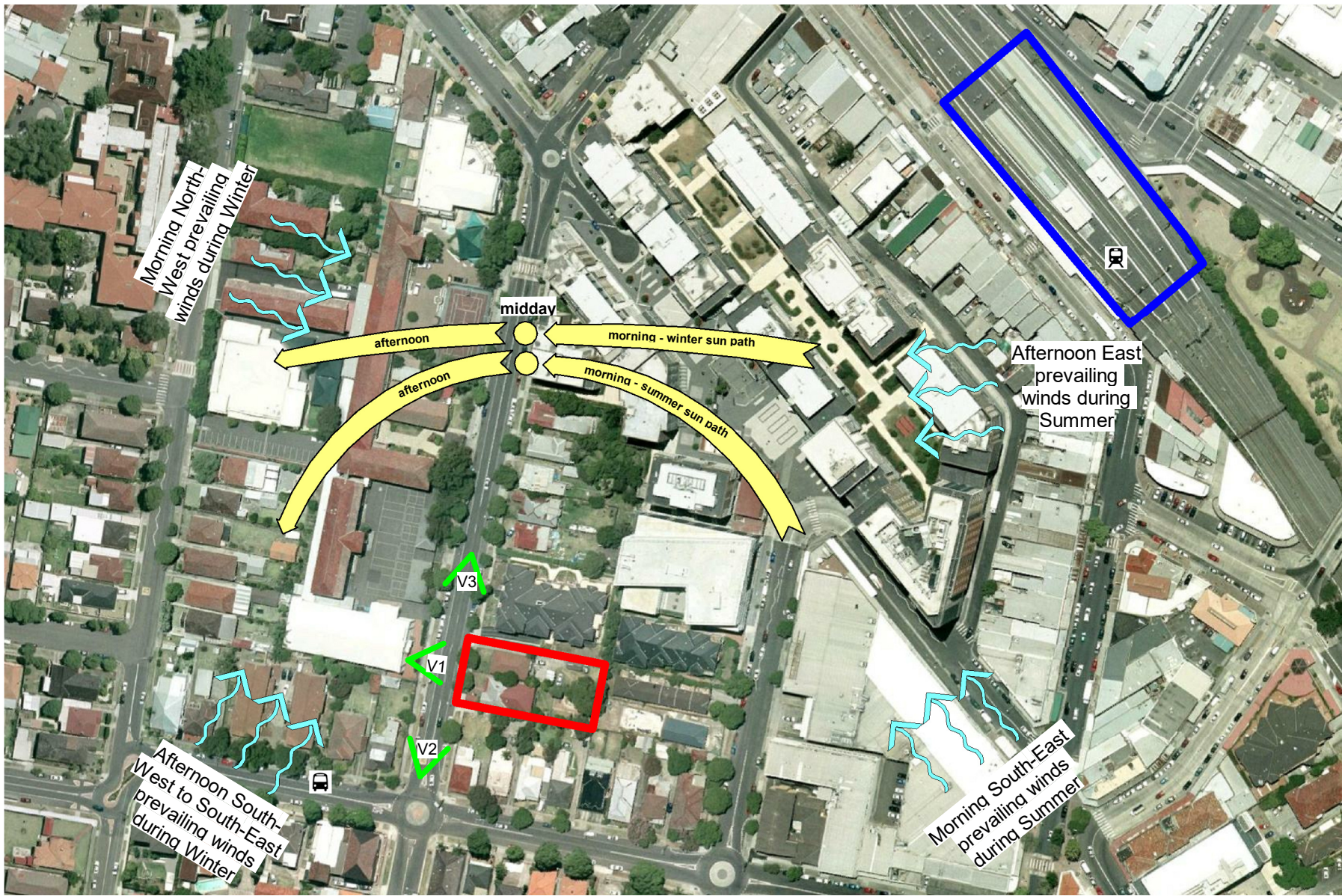
View from Park Road (front view)



View from Park Road (towards North)



View from Park Road (towards South)



LOCAL AMENITIES

- 100 m to nearest bus stop (Mary St)
- 500 m to Lidcombe Station

NOTE:

REFER TO GROUND FLOOR PLAN AND SURVEY DRAWINGS FOR DIMENSIONS AND BEARINGS

	Site Location
	Auburn Station

Site Analysis & Location Plan
N.T.S

Issue	Description	Date
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Client Name
Stella Developments
Project Name
22-24 PARK ROAD, AUBURN

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Drawing Title
Site Analysis Plan

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	As indicatedA3	A 0.02	DA	D

BASIX NOTES

1. Commitments for residential flat building - Building

(a) Dwellings

(i) water
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.
(g) The pool or spa must be located as specified in the table.
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

(ii) energy
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.

(iii) thermal comfort
(g) Where there is an in-slab heating or cooling system, the applicant must:
 (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or
 (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.

(b) Common area and central systems/facilities

(i) water
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.

(ii) energy
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.

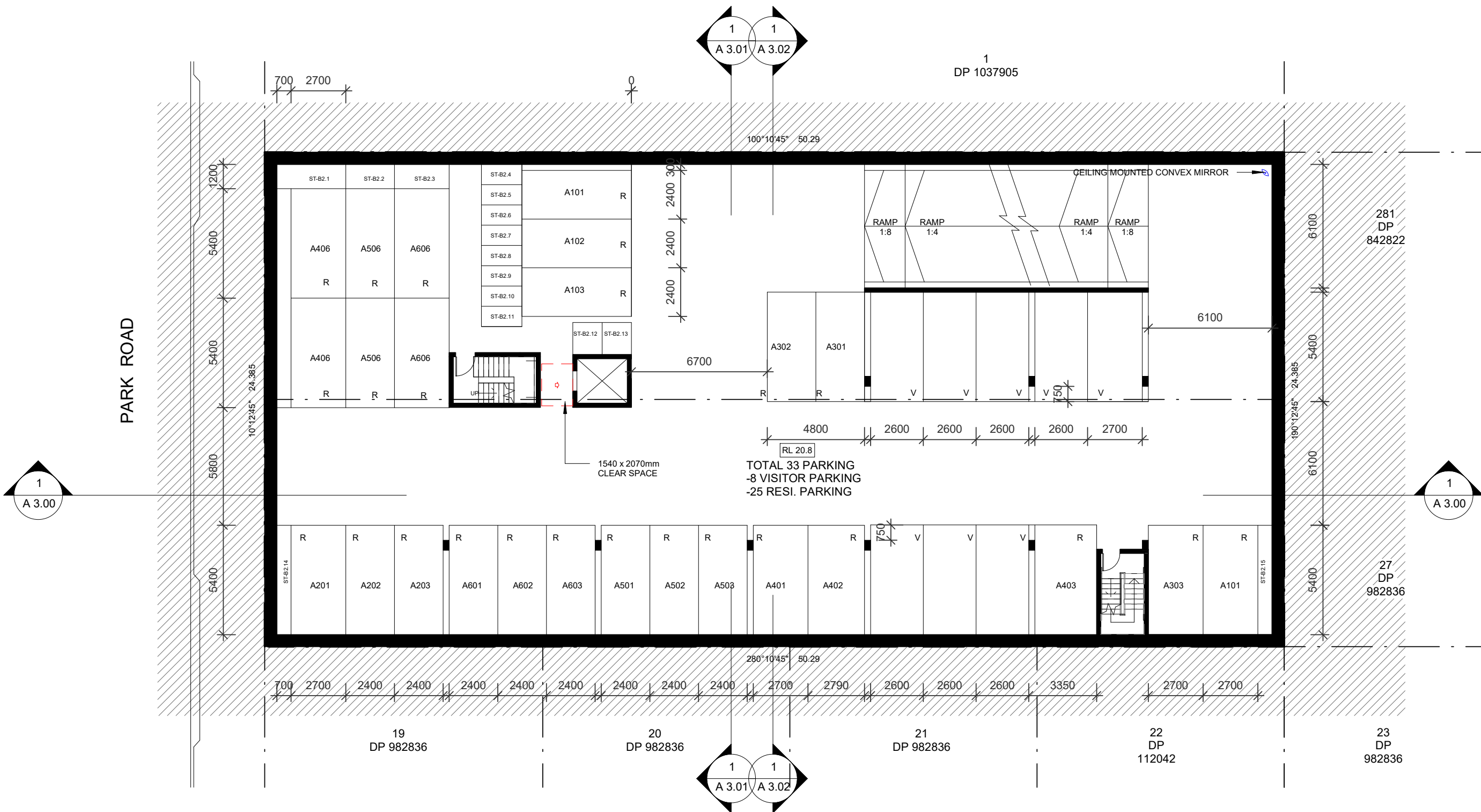
4. Common area and central systems/facilities for the development (non-building specific)

(b) Common area and central systems/facilities

(i) water
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.

(ii) energy
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.

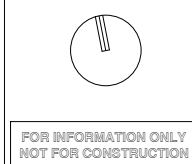
PARK ROAD



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Client Name
Stella Developments
Project Name
22-24 PARK ROAD, AUBURN

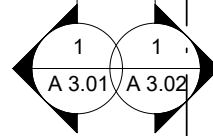
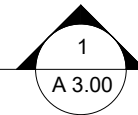
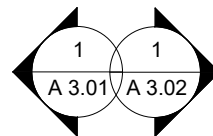
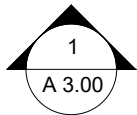
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Drawing Title
Basement 2 Plan

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 200 @A3	A 1.01	DA	F

PARK ROAD



1
DP 1037905

281
DP
842822

27
DP
982836

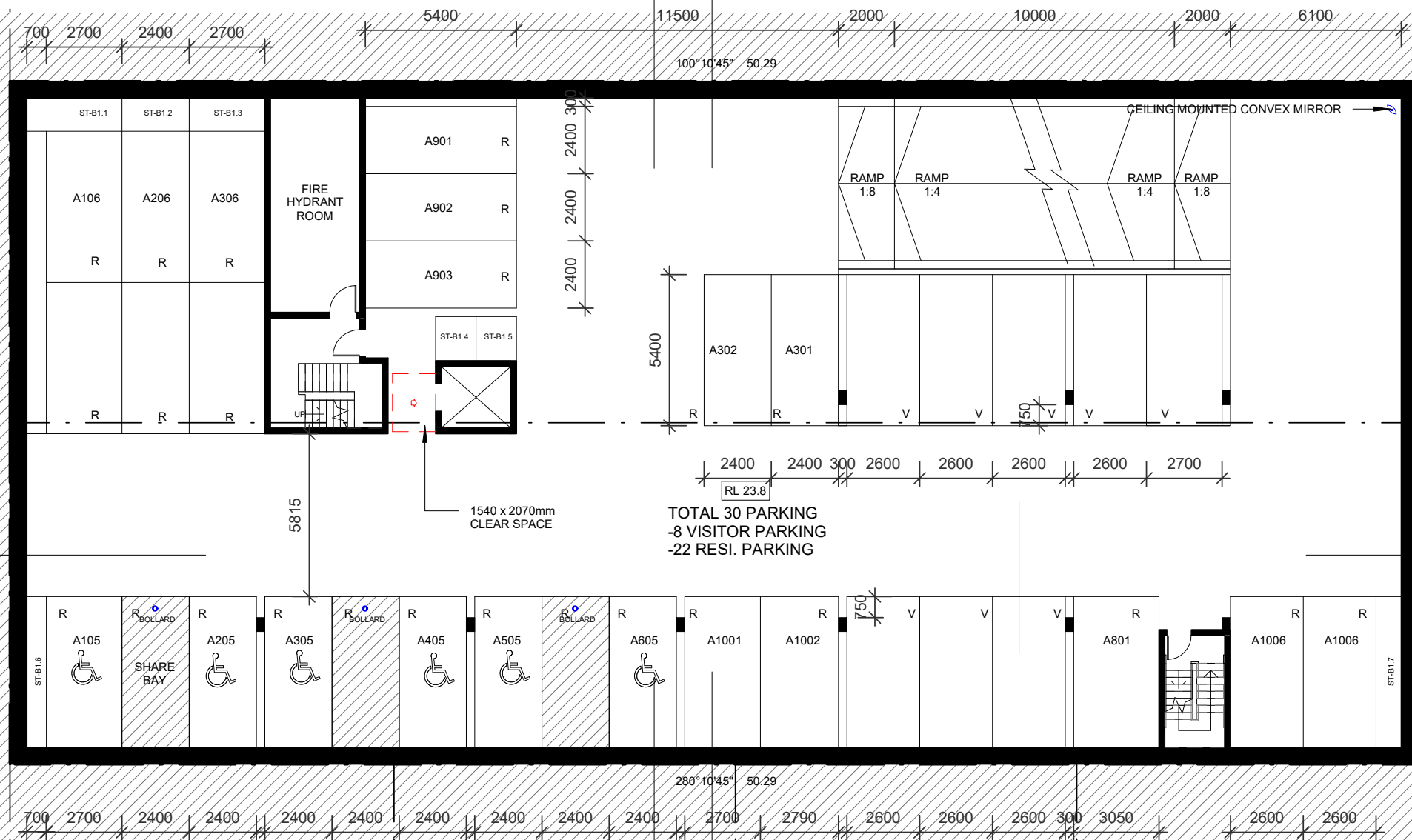
19
DP 982836

20
DP 982836

21
DP 982836

22
DP
112042

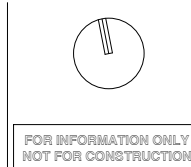
23
DP
982836



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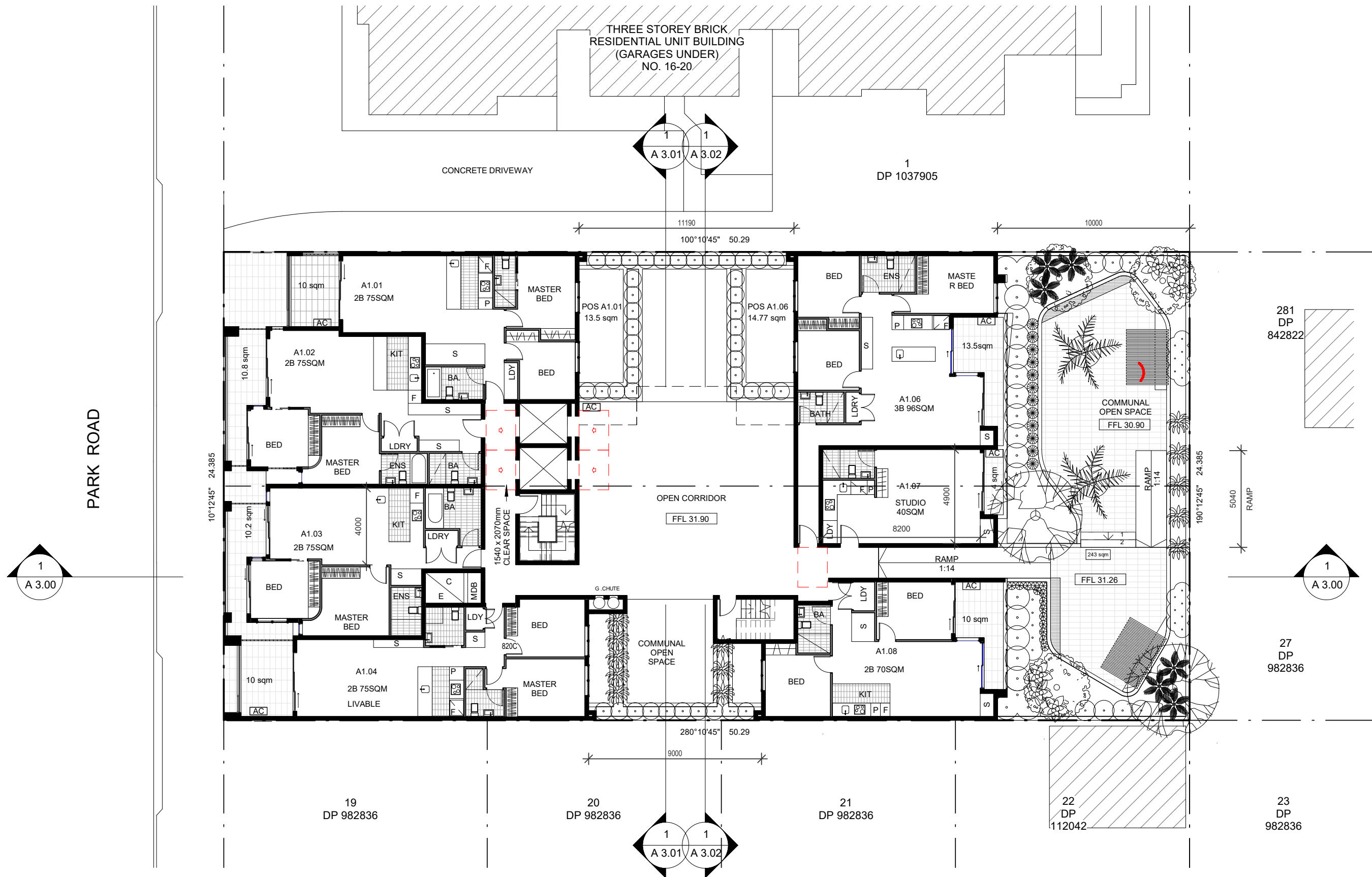
Client Name
Stella Developments
Project Name
22-24 PARK ROAD, AUBURN

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Drawing Title
Basement 1 Plan

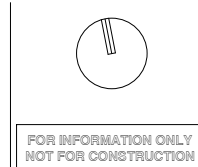
Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1:200 @A3	A 1.02	DA	E



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Stella Developments
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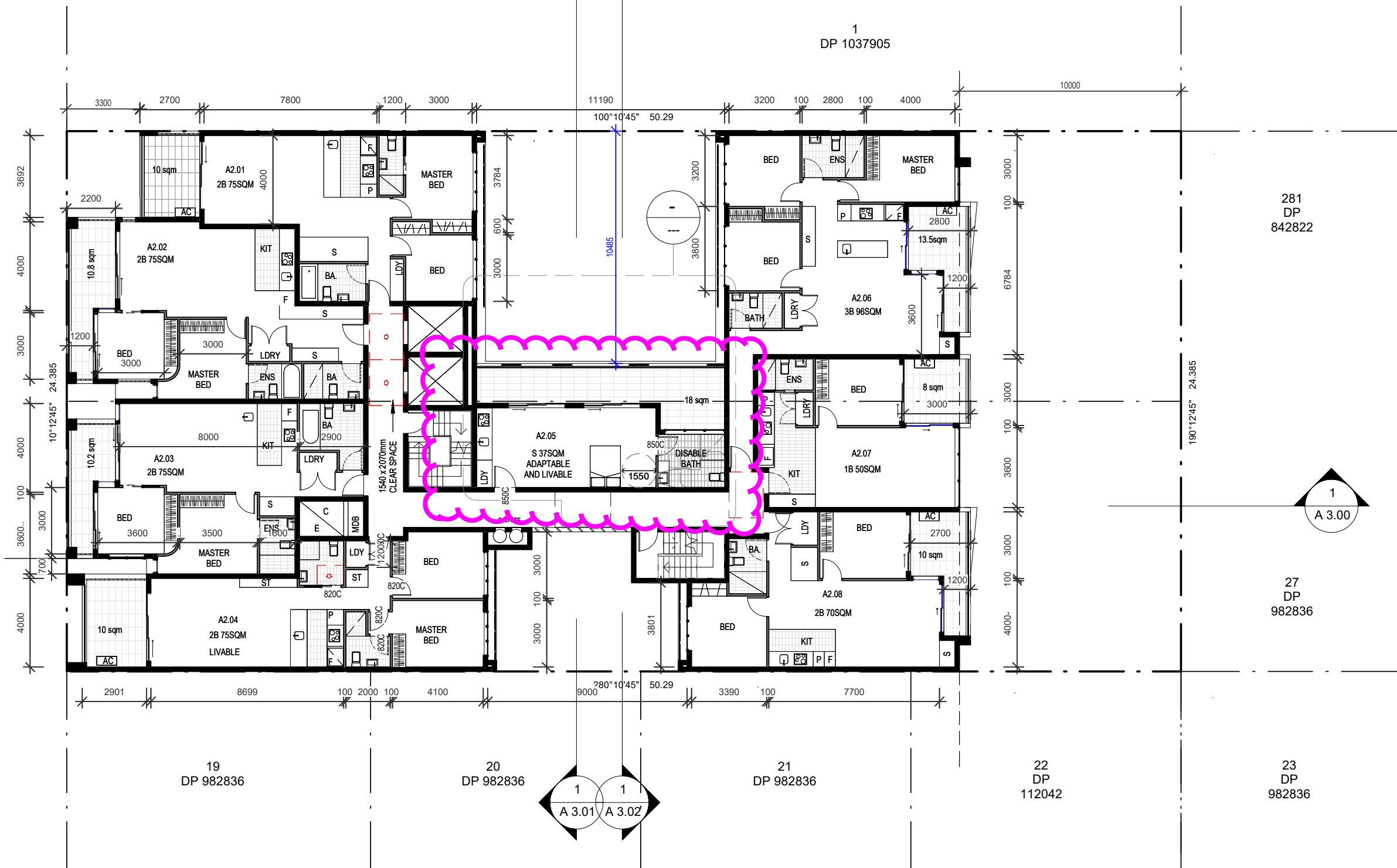
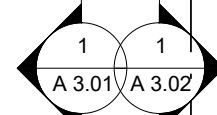
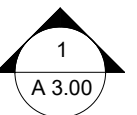
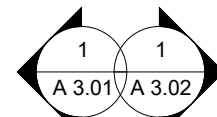
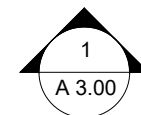
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Drawing Title
Level 1 Plan

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1:200 @A3	A 1.04	DA	F

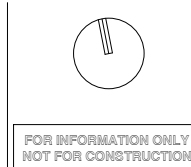
PARK ROAD



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Client Name
Stella Developments
Project Name
22-24 PARK ROAD, AUBURN

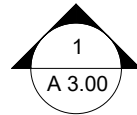
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Drawing Title
Level 2-10 Plan

Job No.	Scale	Drawing No.	Stage	ISSUE
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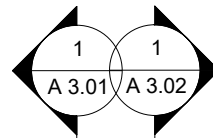
PARK RD



10°12'45" 24.385

RL. 60.8

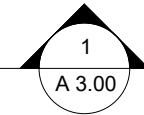
TOW 63.30
LIFT
OVERRUN
TOW 63.30
LIFT
OVERRUN



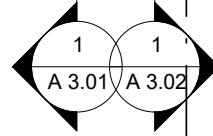
100°10'45" 50.29

ROOF BELOW

190°12'45" 24.385



280°10'45" 50.29



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Nominated Architects
Henry Huang NSW.8992

Eric Kim NSW.9185

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Client Name

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Project Name

22-24 PARK ROAD, AUBURN

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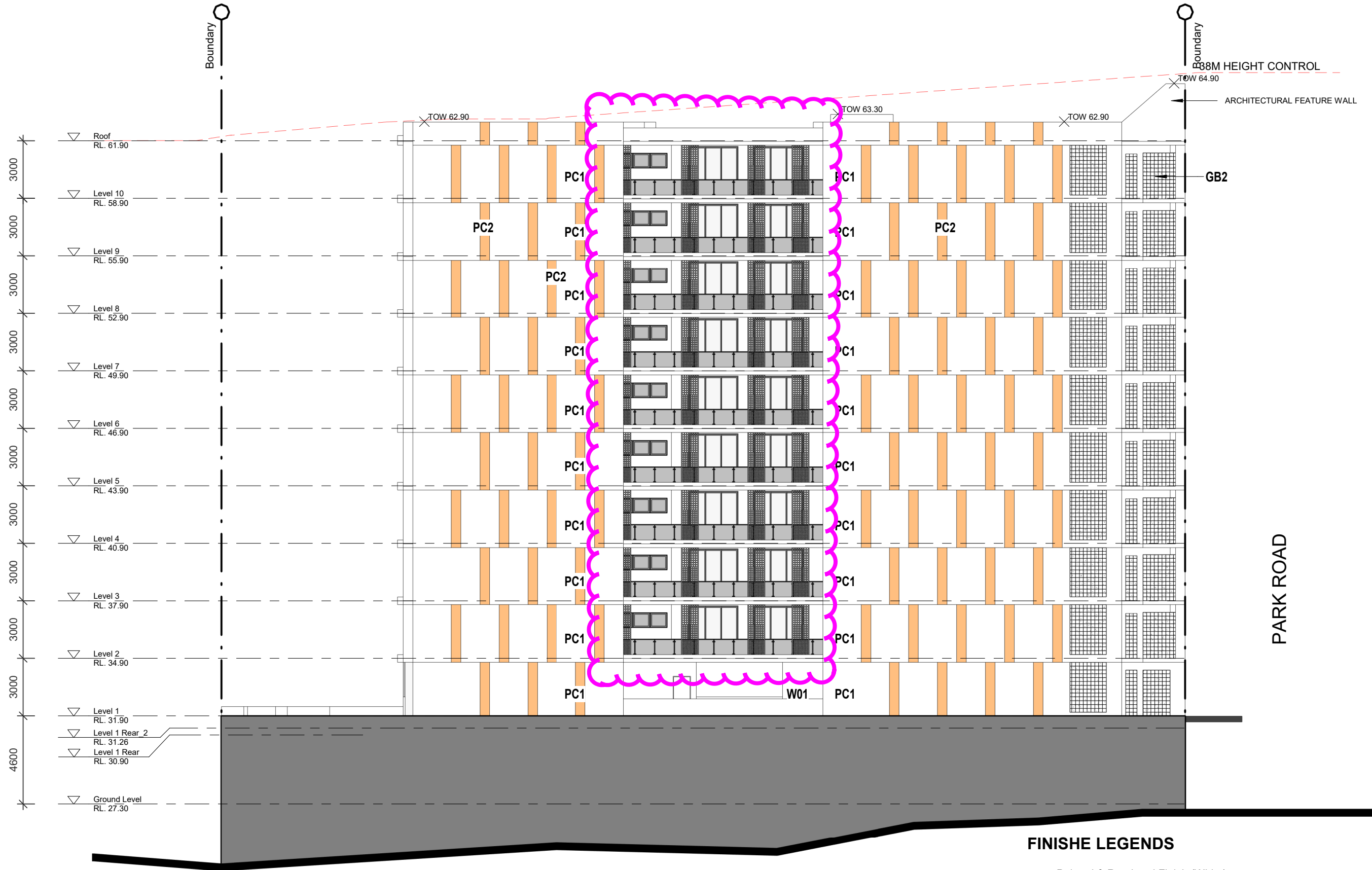


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Drawing Title

Roof Plan / Site Plan

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 200 @A3	A 1.07	DA	G



FINISHE LEGENDS

W01	Painted & Rendered Finish (White) DULUX VIVID WHITE	AD1	Aluminum Frame Glass Door
W02	Painted & Rendered Finish (Charcoal) DULUX DOMINO	AS1	Aluminum Sliding Screen (Black)
B01	Face Brick ASTRAL BRICK METALLIX BLACKSTONE	AS2	Aluminum Fixed Screen (Silver)
GB1	Glass Balustrade	PC1	PRE-CAST CONCRETE PANEL PREFINISHED DULUX DIESKAU
GB2	Glass Block	PC2	PRE-CAST CONCRETE PANEL PREFINISHED DULUX CEYLON TEA

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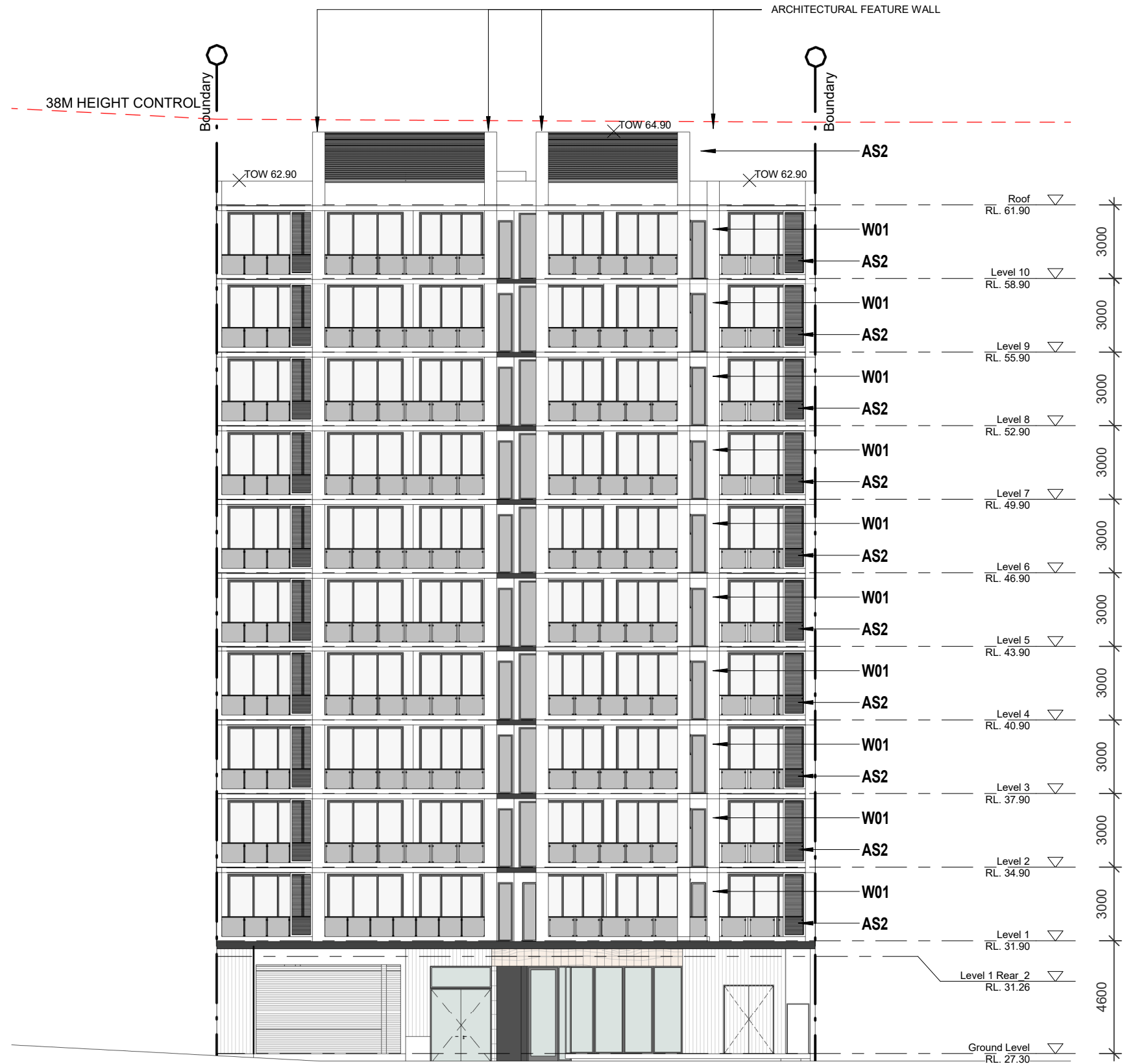
Client Name
Stella Developments

Project Name
22-24 PARK ROAD, AUBURN

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Drawing Title North Elevation				
Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 200 @A3	A 2.00	DA	G



FINISHE LEGENDS

W01	Painted & Rendered Finish (White) DULUX VIVID WHITE	AD1	Aluminum Frame Glass Door
W02	Painted & Rendered Finish (Charcoal) DULUX DOMINO	AS1	Aluminum Sliding Screen (Black)
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GB1	Glass Balustrade	PC1	PRE-CAST CONCRETE PANEL PREFINISHED DULUX DIESKAU
GB2	Glass Block	PC2	PRE-CAST CONCRETE PANEL PREFINISHED DULUX CEYLON TEA



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Client Name
Stella Developments

Project Name
22-24 PARK ROAD, AUBURN

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Drawing Title
West Elevation

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 200 @A3	A 2.01	DA	F



FINISHE LEGENDS

W01	Painted & Rendered Finish (White) DULUX VIVID WHITE	AD1	Aluminum Frame Glass Door
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B01	Face Brick ASTRAL BRICK METALLIX BLACKSTONE	AS2	Aluminum Fixed Screen (Silver)
GB1	Glass Balustrade	PC1	PRE-CAST CONCRETE PANEL PREFINISHED DULUX DIESKAU
GB2	Glass Block	PC2	PRE-CAST CONCRETE PANEL PREFINISHED DULUX CEYLON TEA

ARCHITECTS
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Eric Kim NSW.9185

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Drawing Title
South Elevation

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 200 @A3	A 2.02	DA	F



W01	Painted & Rendered Finish (White) DULUX VIVID WHITE	AD1	Aluminum Frame Glass Door
W02	Painted & Rendered Finish (Charcoal) DULUX DOMINO	AS1	Aluminum Sliding Screen (Black)
B01	Face Brick ASTRAL BRICK METALLIX BLACKSTONE	AS2	Aluminum Fixed Screen (Silver)
GB1	Glass Balustrade	PC1	PRE-CAST CONCRETE PANEL PREFINISHED DULUX DIESKAU
GB2	Glass Block	PC2	PRE-CAST CONCRETE PANEL PREFINISHED DULUX CEYLON TEA

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	15/04/2020
B	ISSUE FOR DA SUBMISSION	17/07/2020
C	ISSUE FOR DA AMENDMENT	11/12/2020
D	ISSUE FOR DA AMENDMENT	07/09/2021
F	ISSUE FOR S34	06/10/2021

Client Name
Stella Developments

Project Name
22-24 PARK ROAD, AUBURN

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Drawing Title				
East Elevation				
Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 200 @A3	A 2.03	DA	F



FINISHE LEGENDS

W01	Painted & Rendered Finish (White)	AD1	Aluminum Frame Glass Door
W02	Painted & Rendered Finish (Charcoal)	AS1	Aluminum Sliding Screen (Black)
W03	Painted & Rendered Finish (Grey)	AS2	Aluminum Fixed Screen (Silver)
B01	Face Brick	TS1	Timber Screen (Grey)
		GB1	Glass Balustrade

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	15/04/2020
B	ISSUE FOR DA SUBMISSION	17/07/2020
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Client Name
Stella Developments

Project Name
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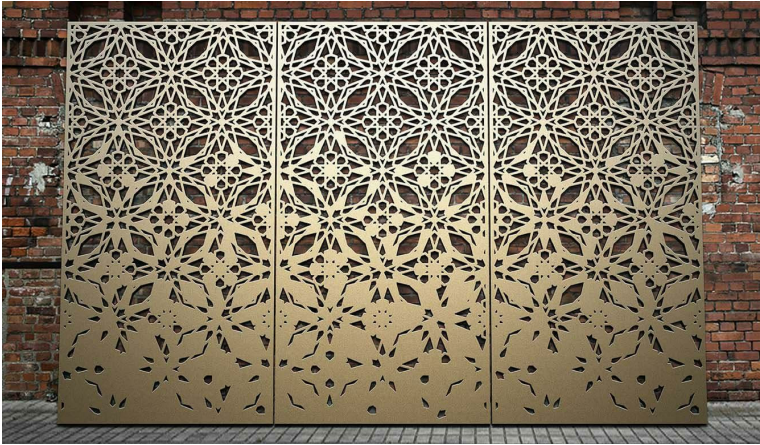
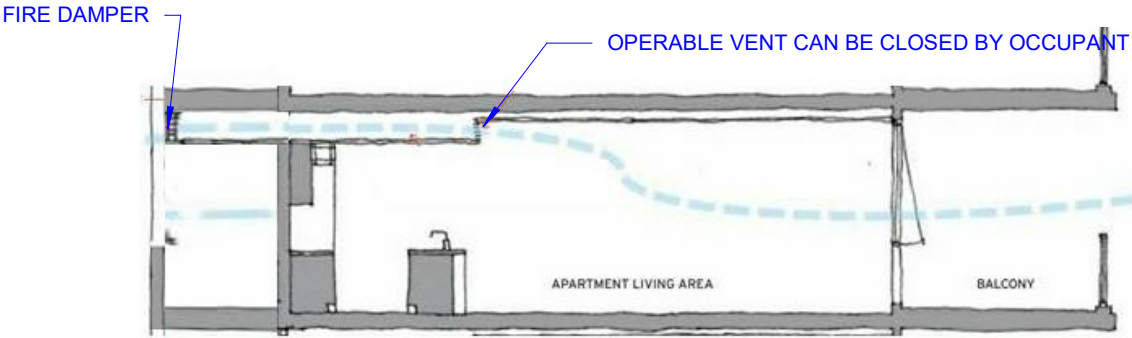
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Drawing Title
StreetScape Elevation

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 300 @A3	A 2.04	DA	F



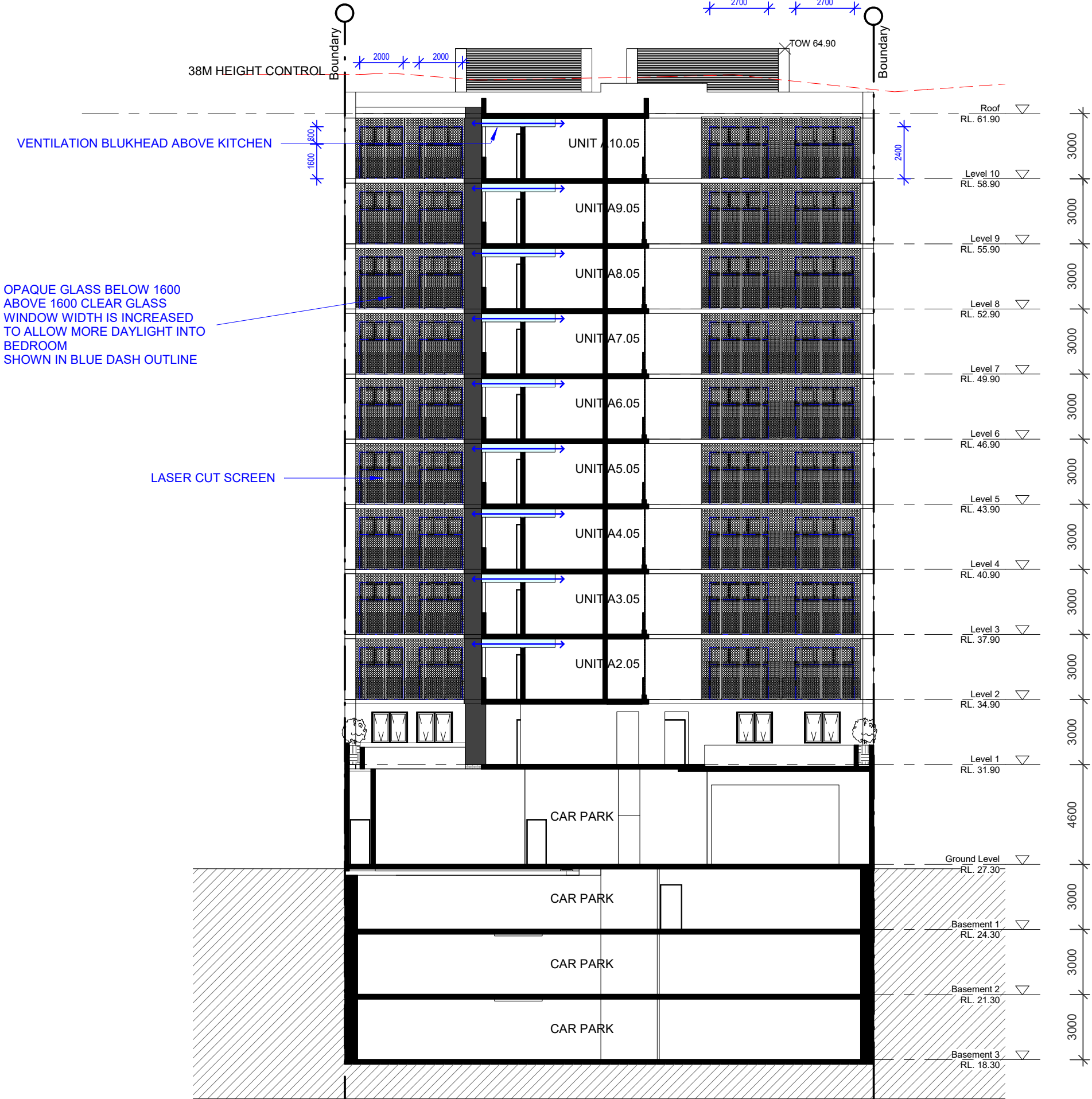
Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 200 @A3	A 3.00	DA	F



LASER CUT SCREEN
BELOW 1.6M (30% OPEN)
ABOVE 1.6M TO 2.7 (70% OPEN)

FINISHE LEGENDS

- W01 Painted & Rendered Finish (Light grey)
- W02 Painted & Rendered Finish (Charcoal)
- W03 Painted & Rendered Finish (Grey)
- W04 Alucobond Finish (Charcoal)
- GB1 Glass Balustrade
- AD1 Aluminum Frame Glass Door
- AS1 Aluminum Sliding Screen (Black)
- AS2 Aluminum Fixed Screen (Black)
- TS1 Timber Screen (Grey)



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Eric Kim NSW.9185

Issue	Description	Date
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Project Name
22-24 PARK ROAD, AUBURN

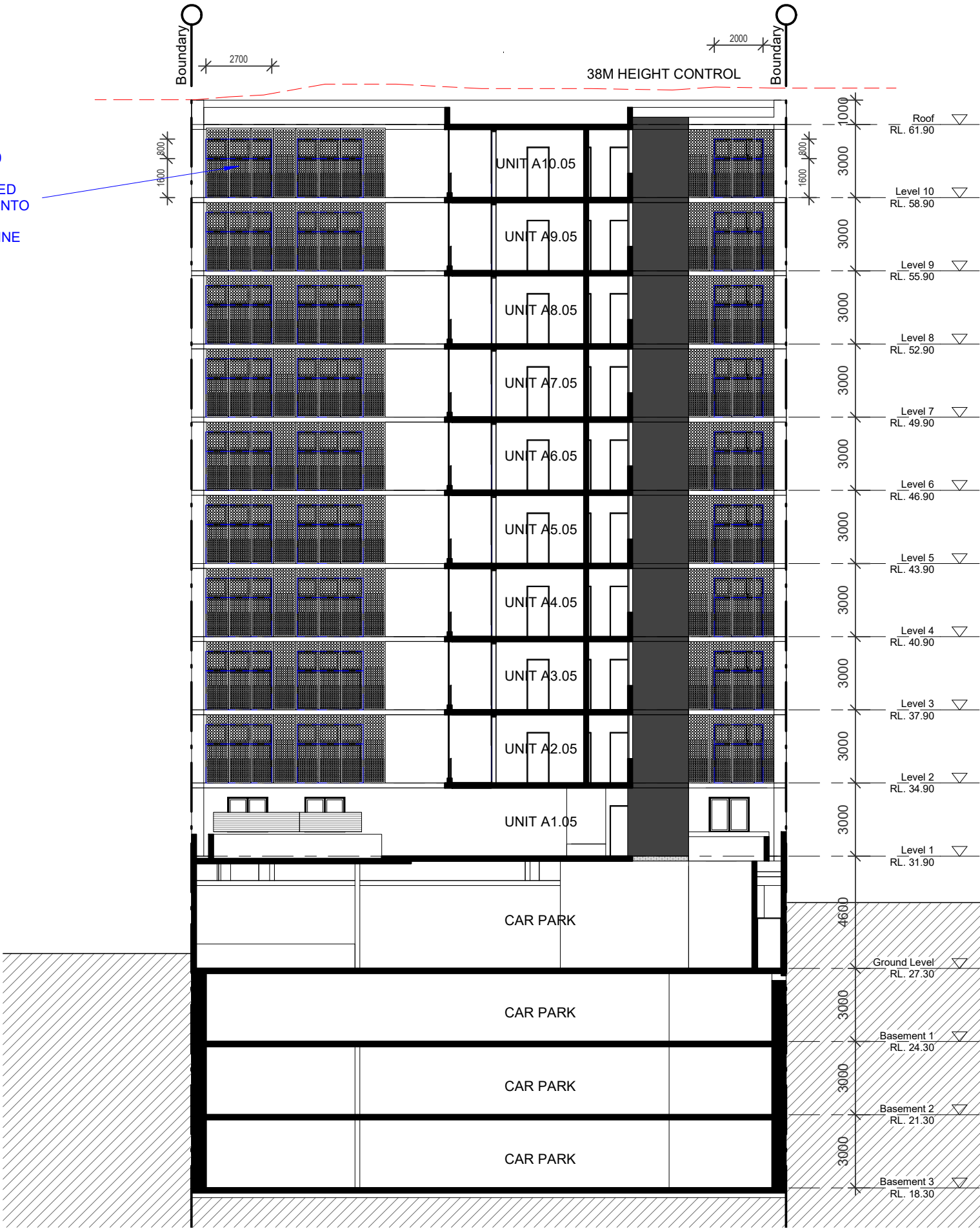
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Drawing Title
Section (North-South)

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 200 @A3	A 3.01	DA	F

OPAQUE GLASS BELOW 1600
ABOVE 1600 CLEAR GLASS
WINDOW WIDTH IS INCREASED
TO ALLOW MORE DAYLIGHT INTO
BEDROOM
SHOWN IN BLUE DASH OUTLINE



FINISHE LEGENDS

- W01 Painted & Rendered Finish (Light grey)
- W02 Painted & Rendered Finish (Charcoal)
- W03 Painted & Rendered Finish (Grey)
- W04 Alucobond Finish (Charcoal)
- GB1 Glass Balustrade
- AD1 Aluminum Frame Glass Door
- AS1 Aluminum Sliding Screen (Black)
- AS2 Aluminum Fixed Screen (Black)
- TS1 Timber Screen (Grey)



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Client Name
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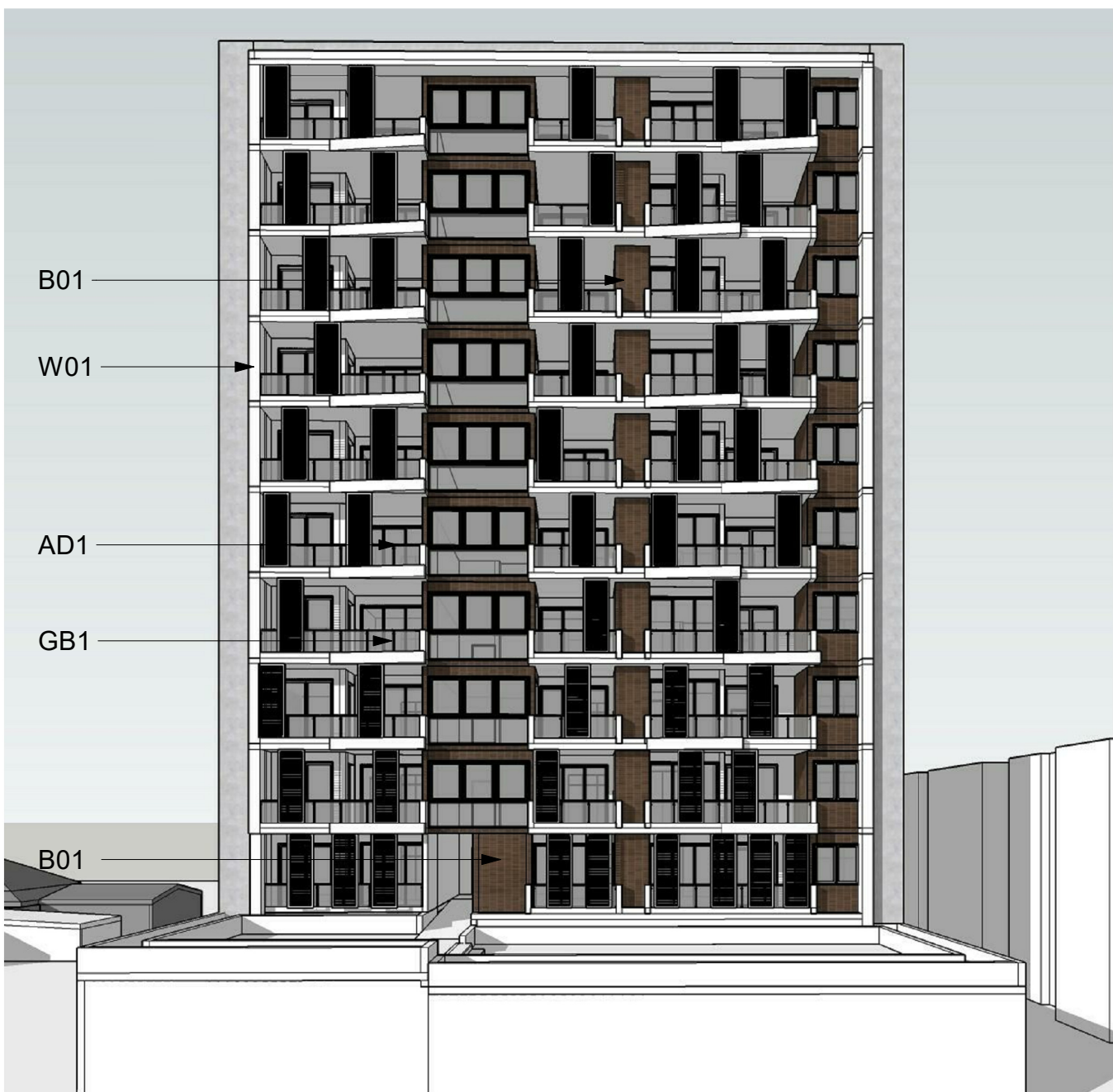
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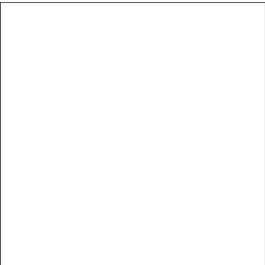
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Drawing Title
Section (North-South)

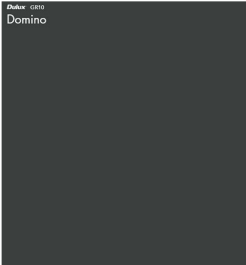
Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 200 @A3	A 3.02	DA	F



FINISHED LEGENDS



W01 Painted & Rendered Finish
DULUX VIVID WHITE



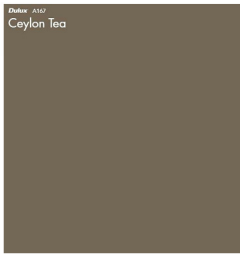
W02 Painted & Rendered Finish
DULUX DOMINO



B01 Face brick
(Dark Brown)



PC1 PRECAST PANEL
DULUX DIEKAU



PC PRECAST PANEL
DULUX CEYLON TEA



AD1 Aluminum Frame
Glass Door



AS1 Aluminum Sliding
Screen



GB1 Opaque Glass Balustrade



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Client Name
Stella Developments

Project Name
22-24 PARK ROAD, AUBURN

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Drawing Title
Schedule of Materials and Finishes

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 200 @A3	A 4.00	DA	D

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TIMBER LOOK SOFFIT CFC

PLANTER BOX

COPPER CLADDING

ALUMINIUM
SCREEN

SUBSTATION DOOR
CONCEALED BEHIND
ALUMINIUM SCREEN



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Eric Kim NSW.9185

Issue	Description	Date
F	ISSUE FOR S34	06/10/2021

Client Name
Stella Developments

Project Name
22-24 PARK ROAD, AUBURN

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Drawing Title
FRONT ENTRY FACADE

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 4.01	DA	F



Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	15/04/2020
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Project Name

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Drawing Title

Elevational Shadow Study - 21 June 1 PM (Park Road)

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 5.01	DA	F

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Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	15/04/2020
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F	ISSUE FOR S34	06/10/2021

Client Name

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Project Name

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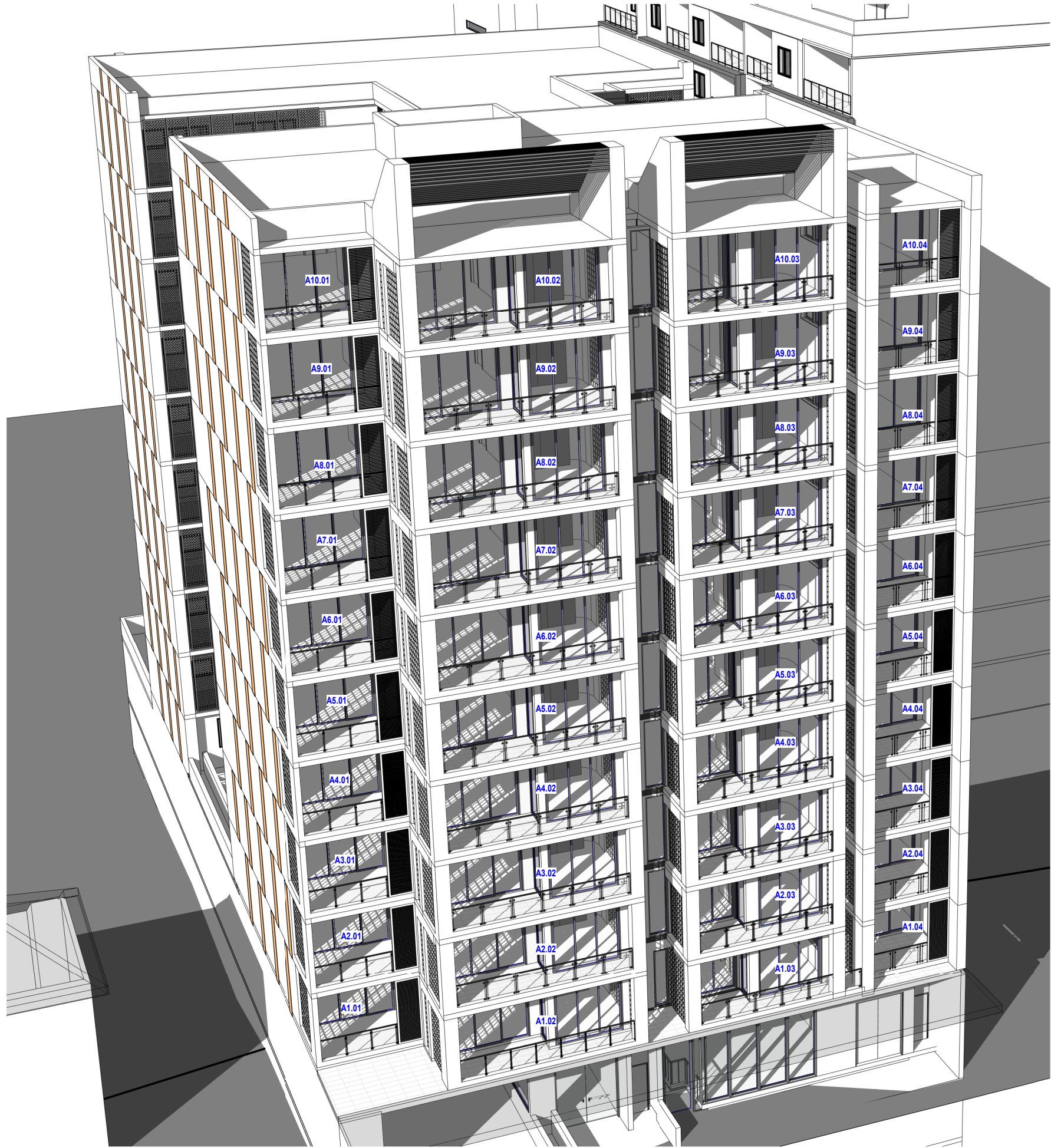
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Drawing Title

Elevational Shadow Study - 21 June 2 PM (Park Road)

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 5.02	DA	F

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Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	15/04/2020
B	ISSUE FOR DA SUBMISSION	17/07/2020
C	ISSUE FOR DA AMENDMENT	11/12/2020
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F	ISSUE FOR S34	06/10/2021

Client Name

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Project Name

22-24 PARK ROAD, AUBURN

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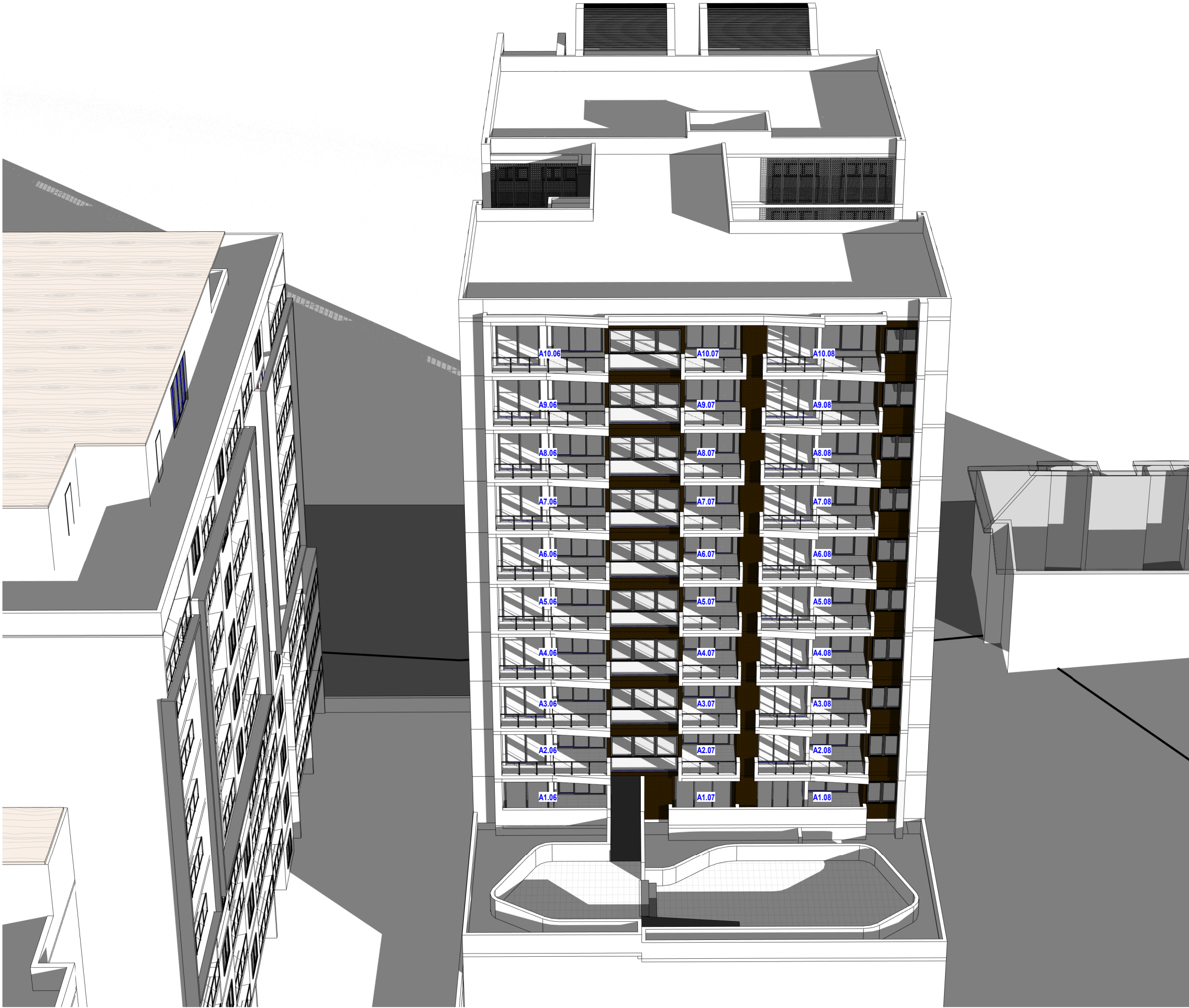
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Drawing Title

Elevational Shadow Study - 21 June 3 PM (Park Road)

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 5.03	DA	F



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Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	15/04/2020
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Client Name
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Drawing Title
Elevational Shadow Study - 21 June 9 AM (Rear)

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 5.04	DA	F



Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	15/04/2020
B	ISSUE FOR DA SUBMISSION	17/07/2020
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D	ISSUE FOR DA AMENDMENT	07/09/2021
F	ISSUE FOR S34	06/10/2021

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Drawing Title

Elevational Shadow Study - 21 June 10 AM (Rear)

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 5.05	DA	F

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B	ISSUE FOR DA SUBMISSION	17/07/2020
C	ISSUE FOR DA AMENDMENT	11/12/2020
D	ISSUE FOR DA AMENDMENT	07/09/2021
F	ISSUE FOR S34	06/10/2021

Client Name
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Project Name
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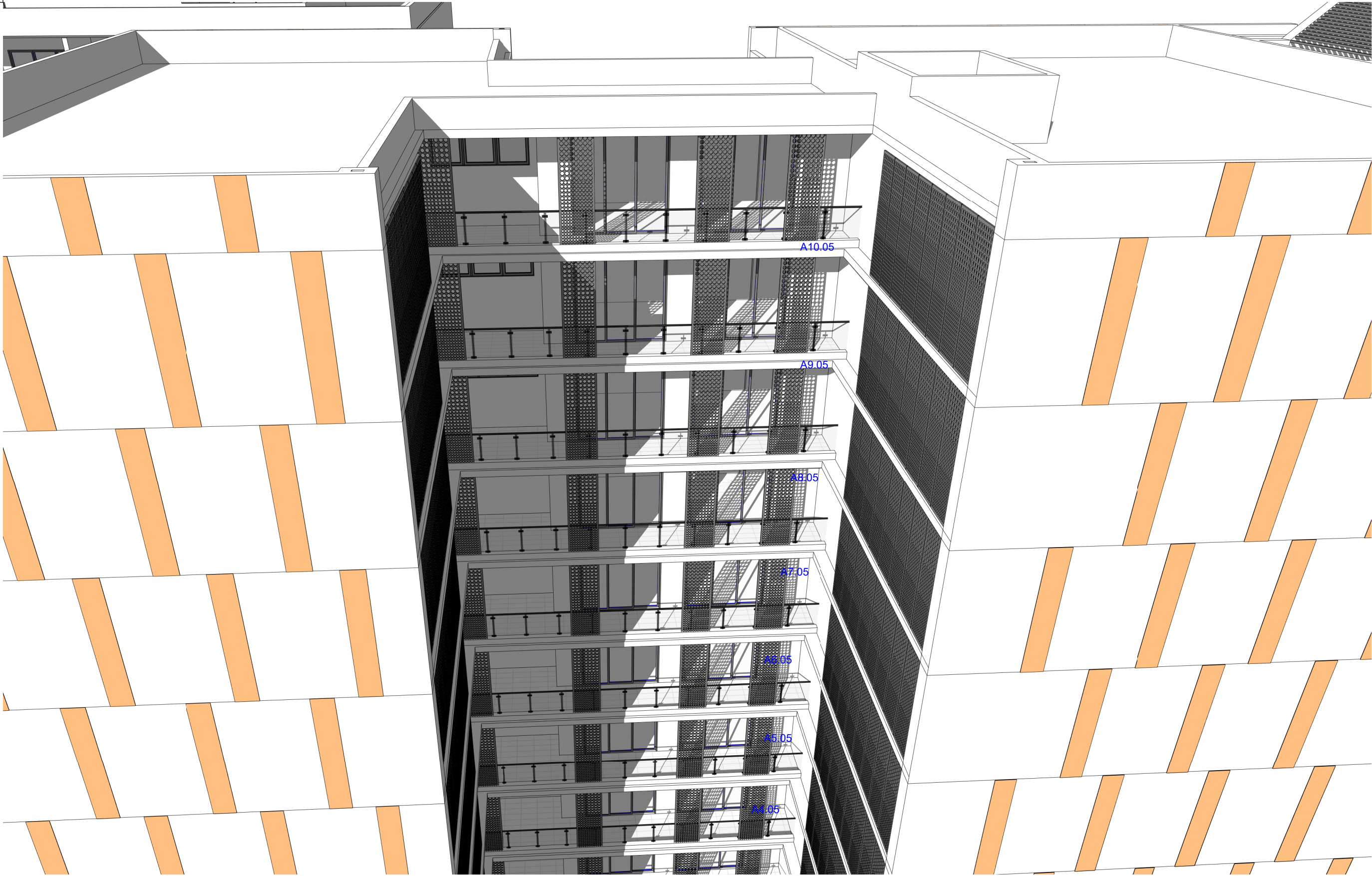
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Drawing Title
Elevational Shadow Study - 21 June 11 AM (Rear)

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 5.06	DA	F





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Issue	Description	Date
F	ISSUE FOR S34	06/10/2021
G	ISSUE FOR S34	04/11/2021

Client Name

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Project Name

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Drawing Title

SHADOW - UNIT 05 / 11AM 21JUNE (HIGHER LEVEL UNITS)

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 5.21	DA	G



Issue	Description	Date
F	ISSUE FOR S34	06/10/2021
G	ISSUE FOR S34	04/11/2021

Client Name

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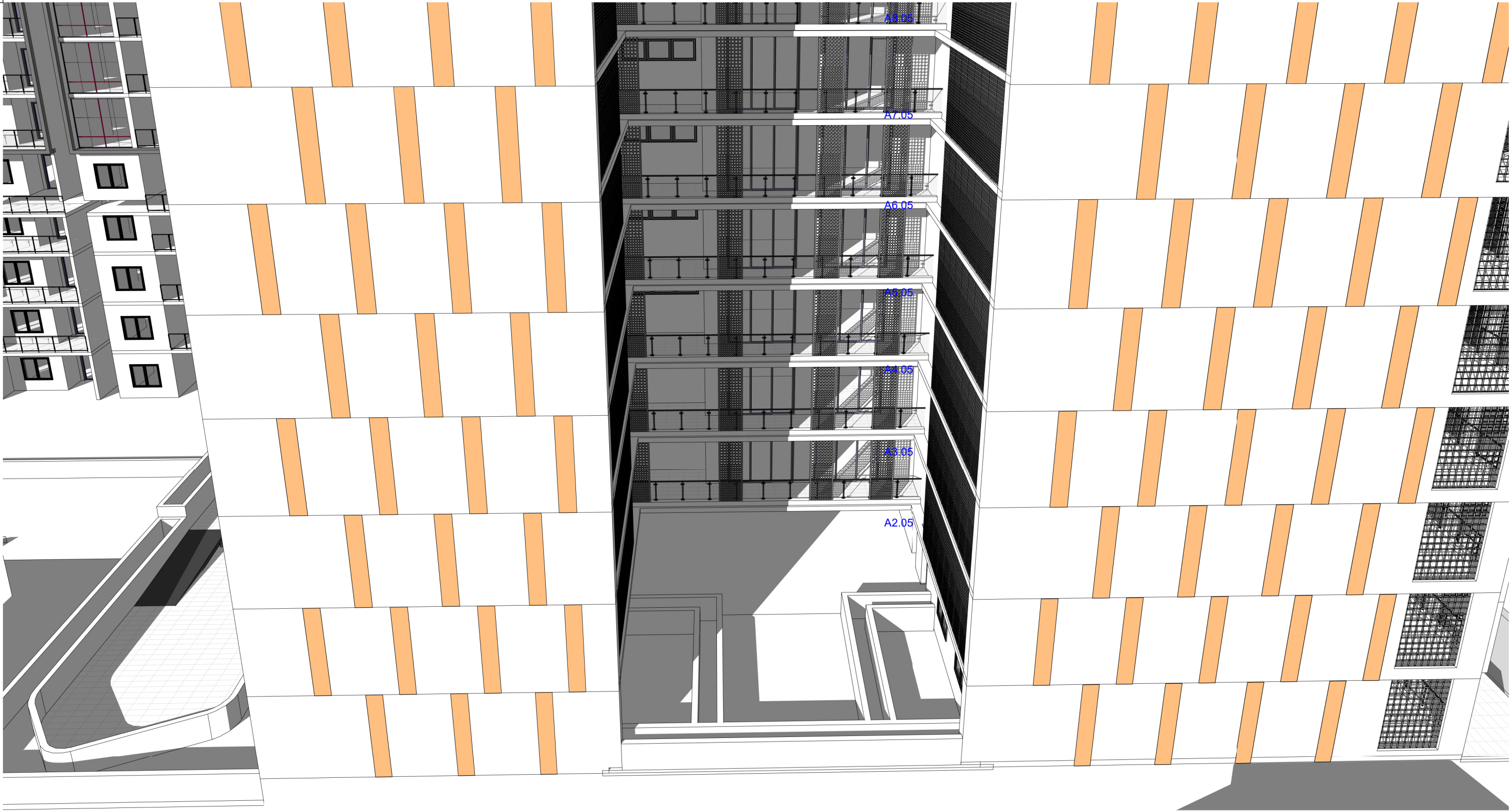
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Drawing Title

SHADOW - UNIT 05 / 12PM 21JUNE (HIGHER LEVEL UNITS)

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 5.22	DA	G





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Issue	Description	Date
F	ISSUE FOR S34	06/10/2021
G	ISSUE FOR S34	04/11/2021

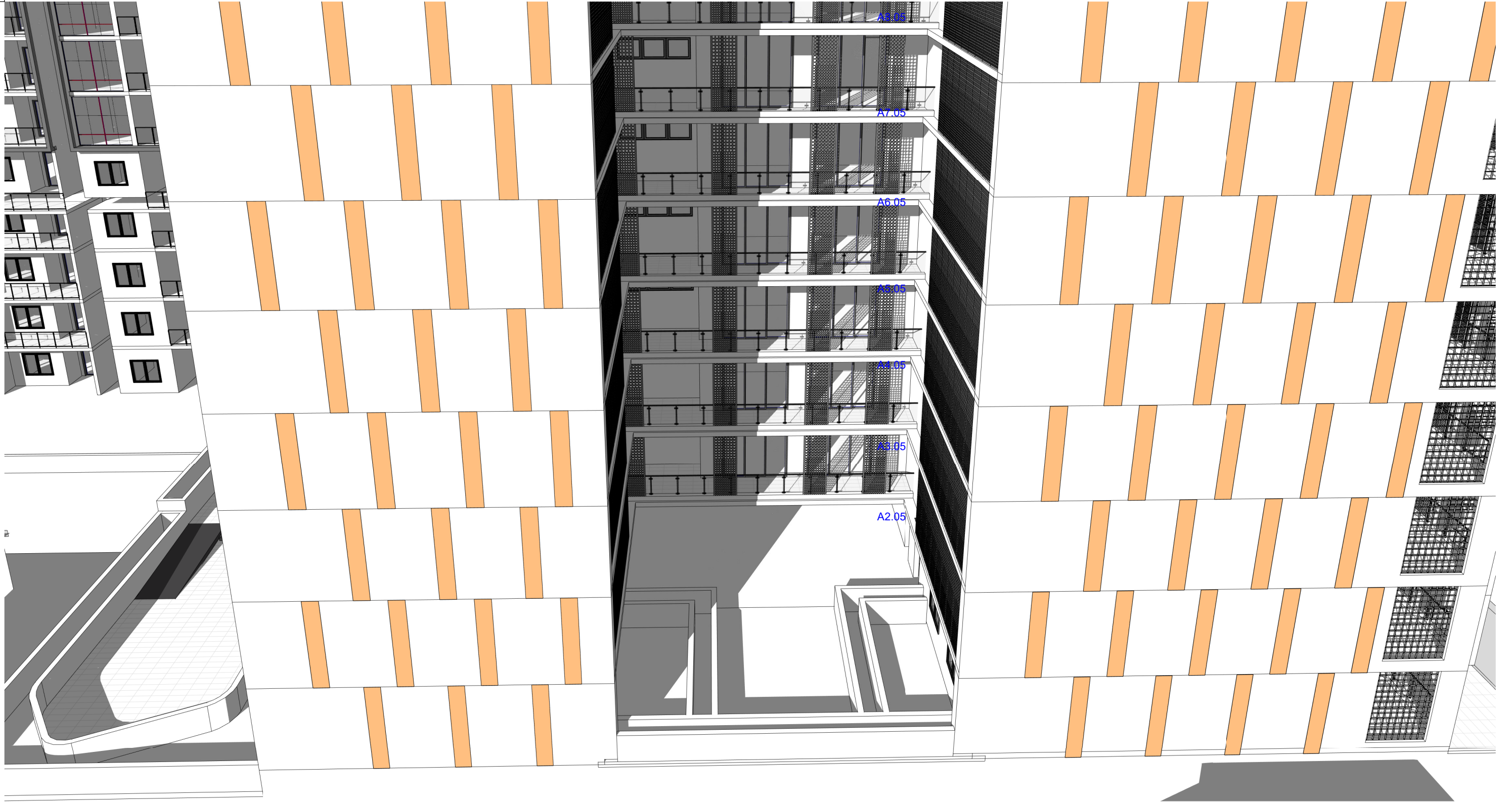
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Drawing Title				
SHADOW - UNIT 05 / 10AM 21JUNE (LOWER LEVEL UNITS)				
Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 5.30	DA	G



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Issue	Description	Date
F	ISSUE FOR S34	06/10/2021
G	ISSUE FOR S34	04/11/2021

Client Name

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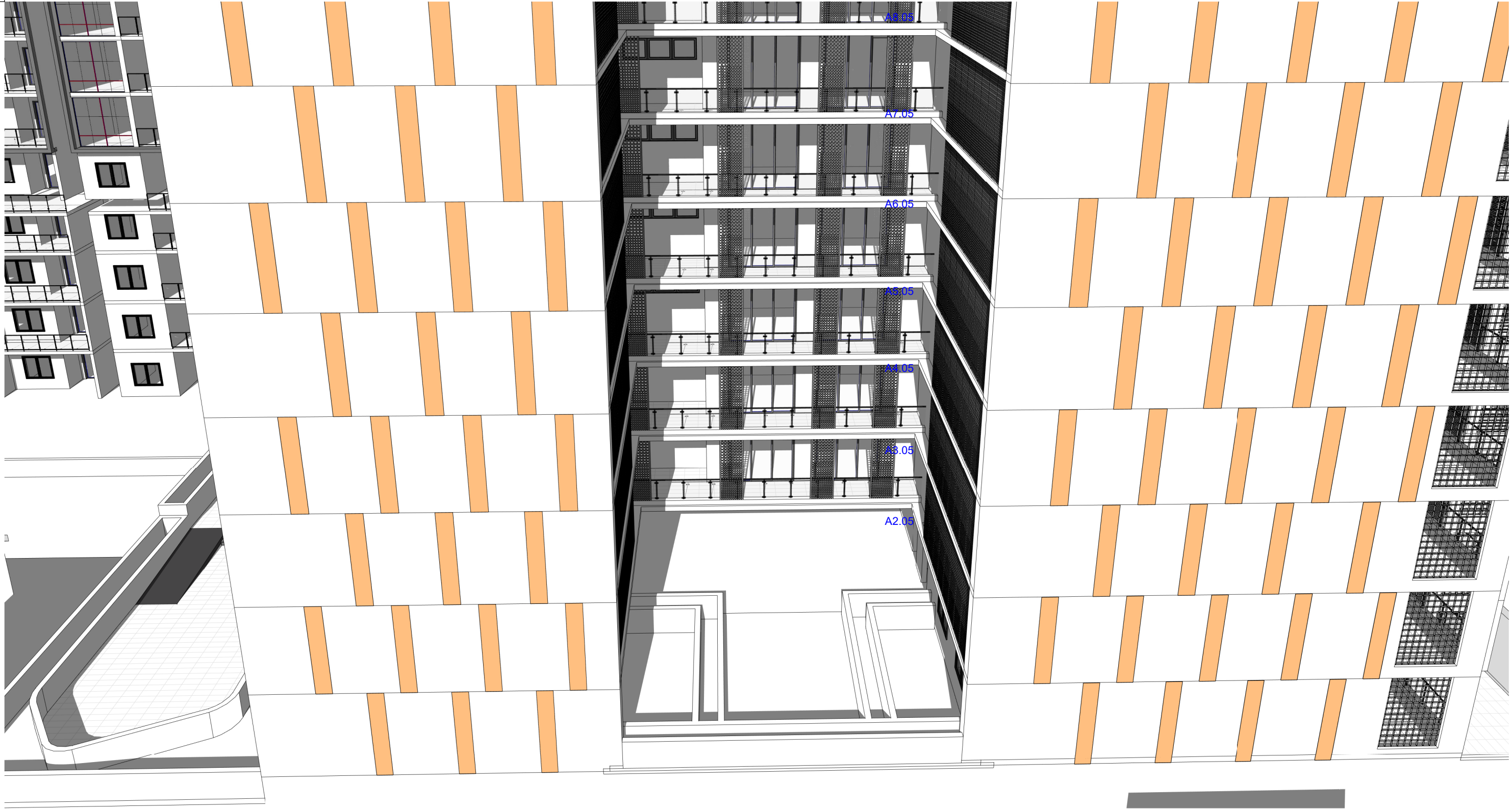


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Drawing Title

SHADOW - UNIT 05 / 11AM 21JUNE (LOWER LEVEL UNITS)

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 5.31	DA	G



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Client Name
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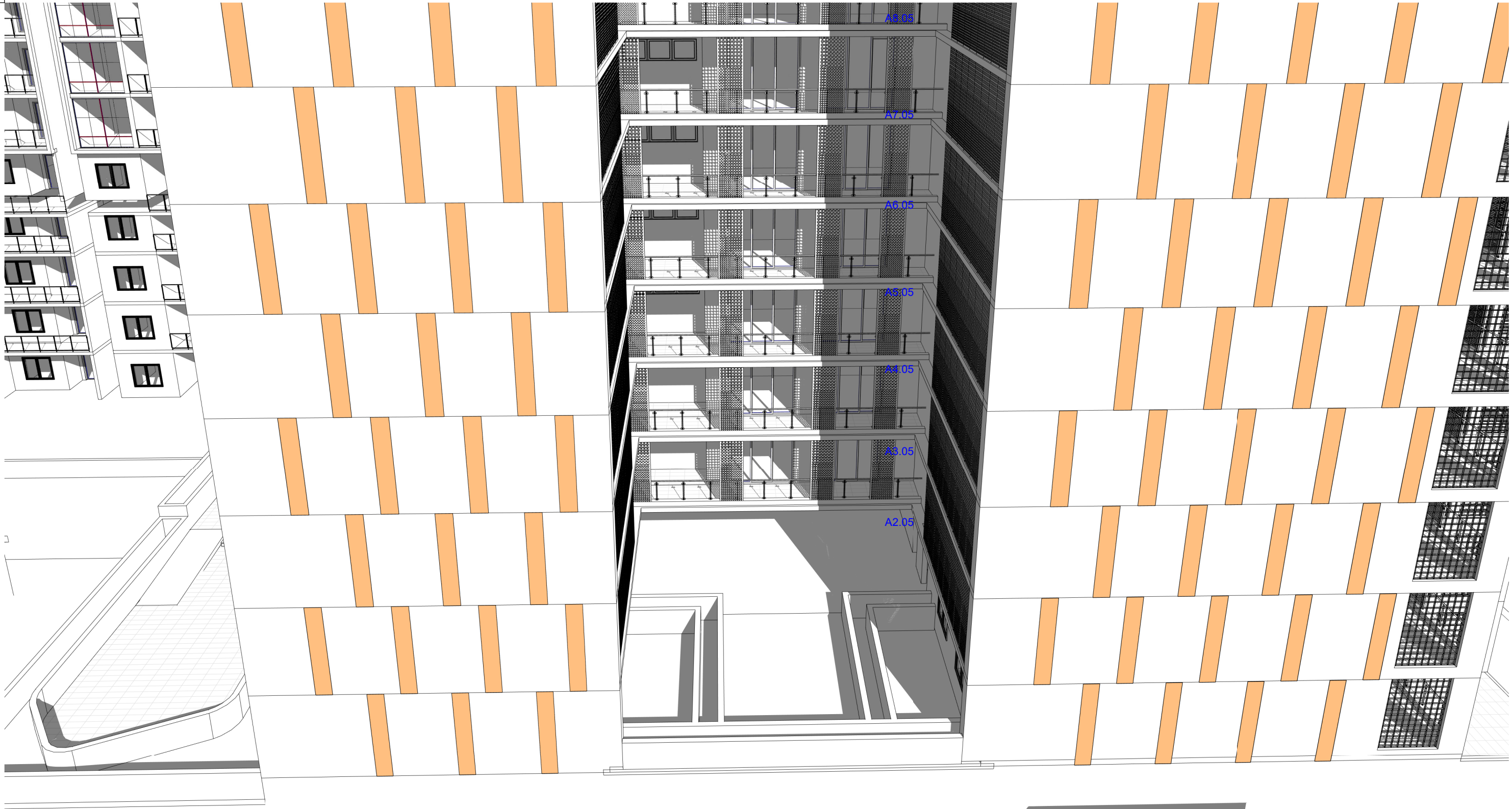
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Drawing Title
SHADOW - UNIT 05 / 12PM 21JUNE (LOWER LEVEL UNITS)

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 5.32	DA	F



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Client Name
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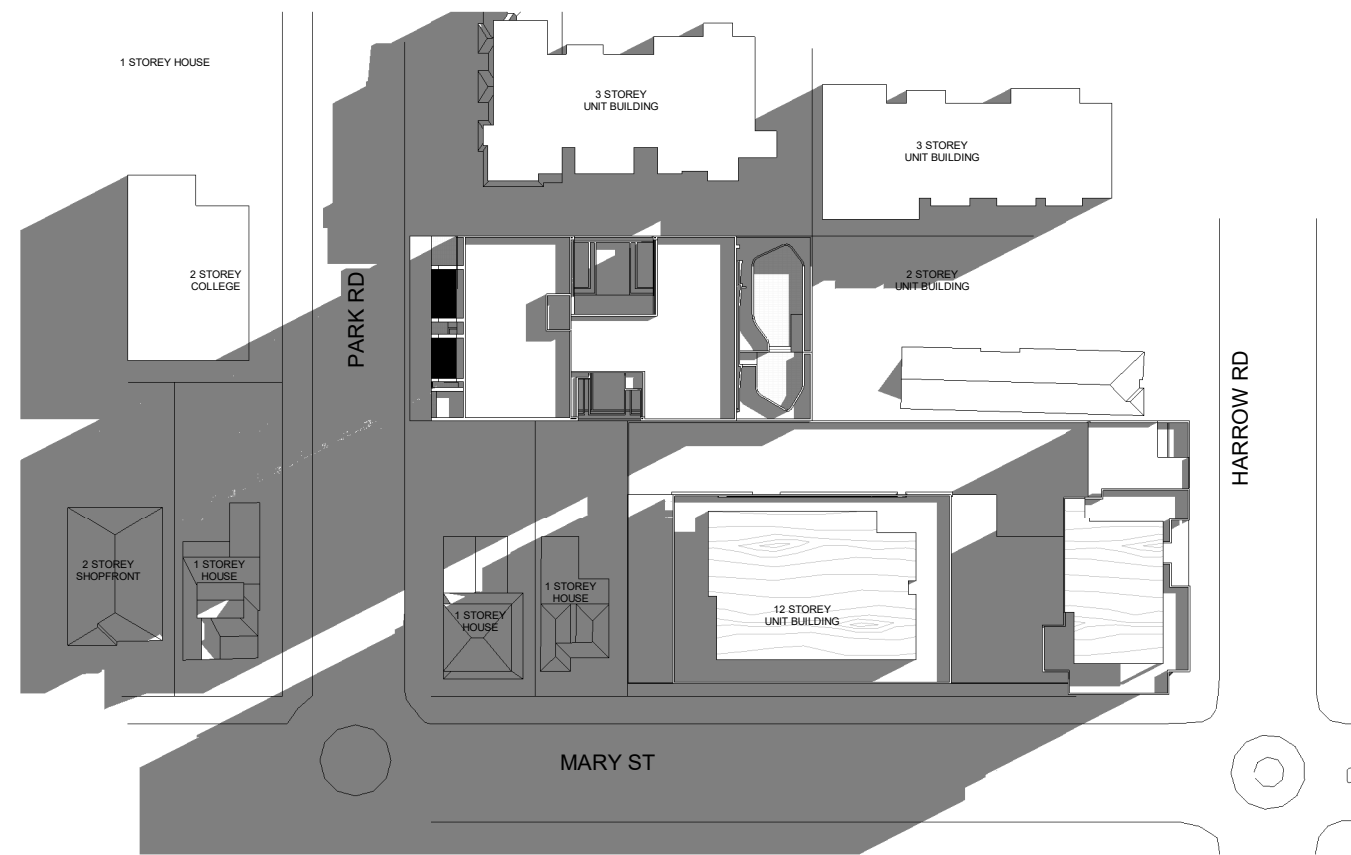
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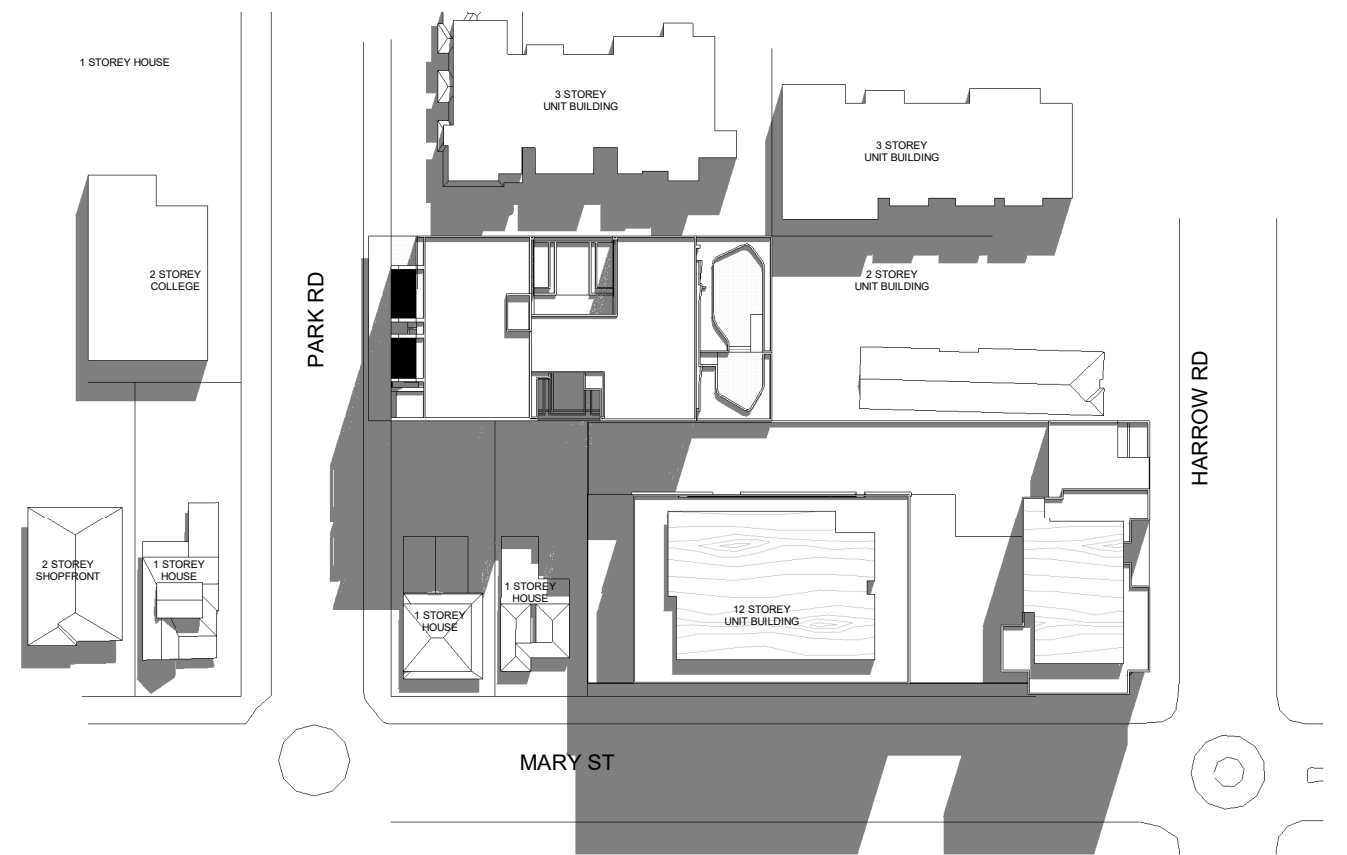
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Drawing Title
SHADOW - UNIT 05 / 1PM 21JUNE (LOWER LEVEL UNITS)

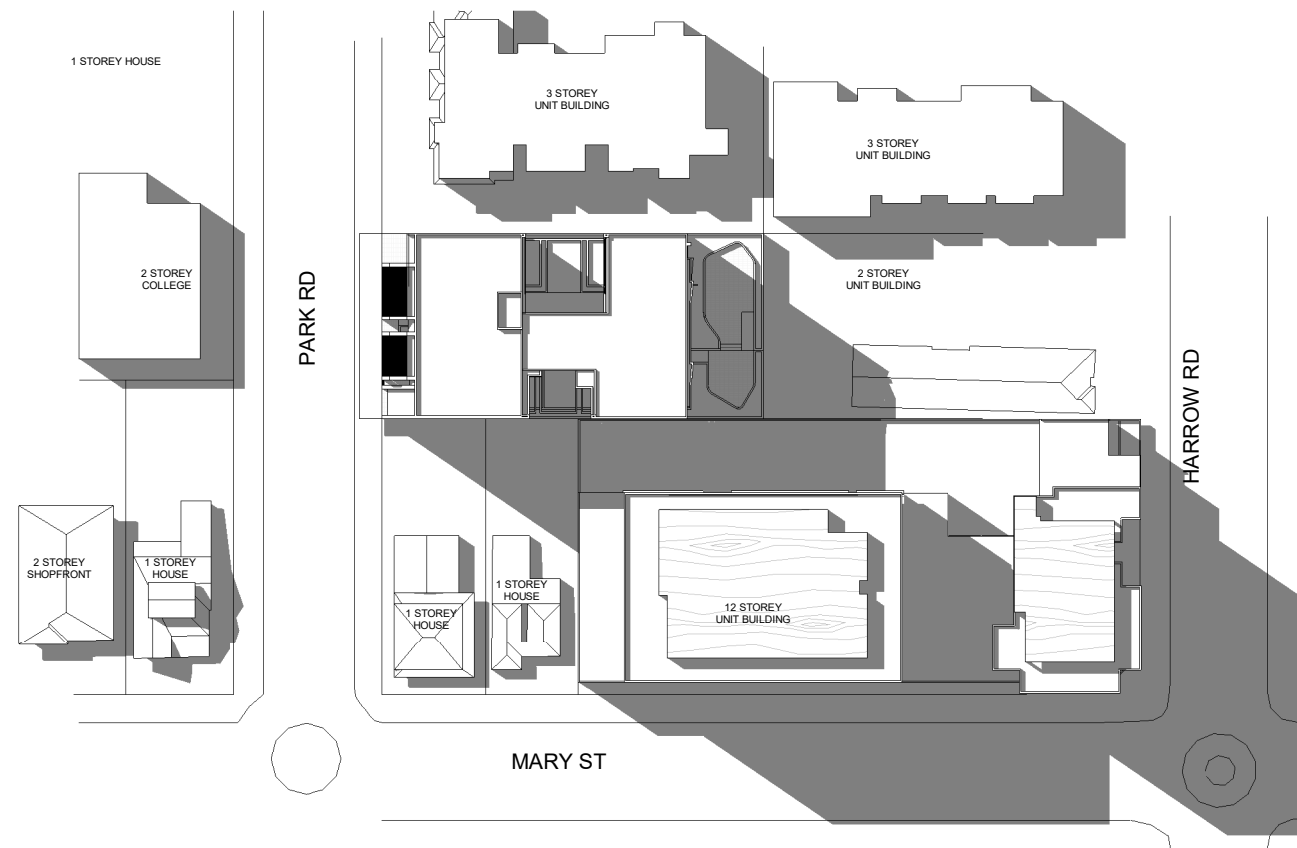
Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 5.33	DA	F



1 Shadow Diagram - 21 March 9 am
1 : 1000



2 Shadow Diagram - 21 March 12 pm
1 : 1000



3 Shadow Diagram - 21 March 3 pm
1 : 1000

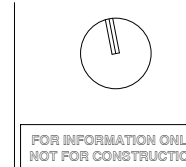
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Project Name
22-24 PARK ROAD, AUBURN

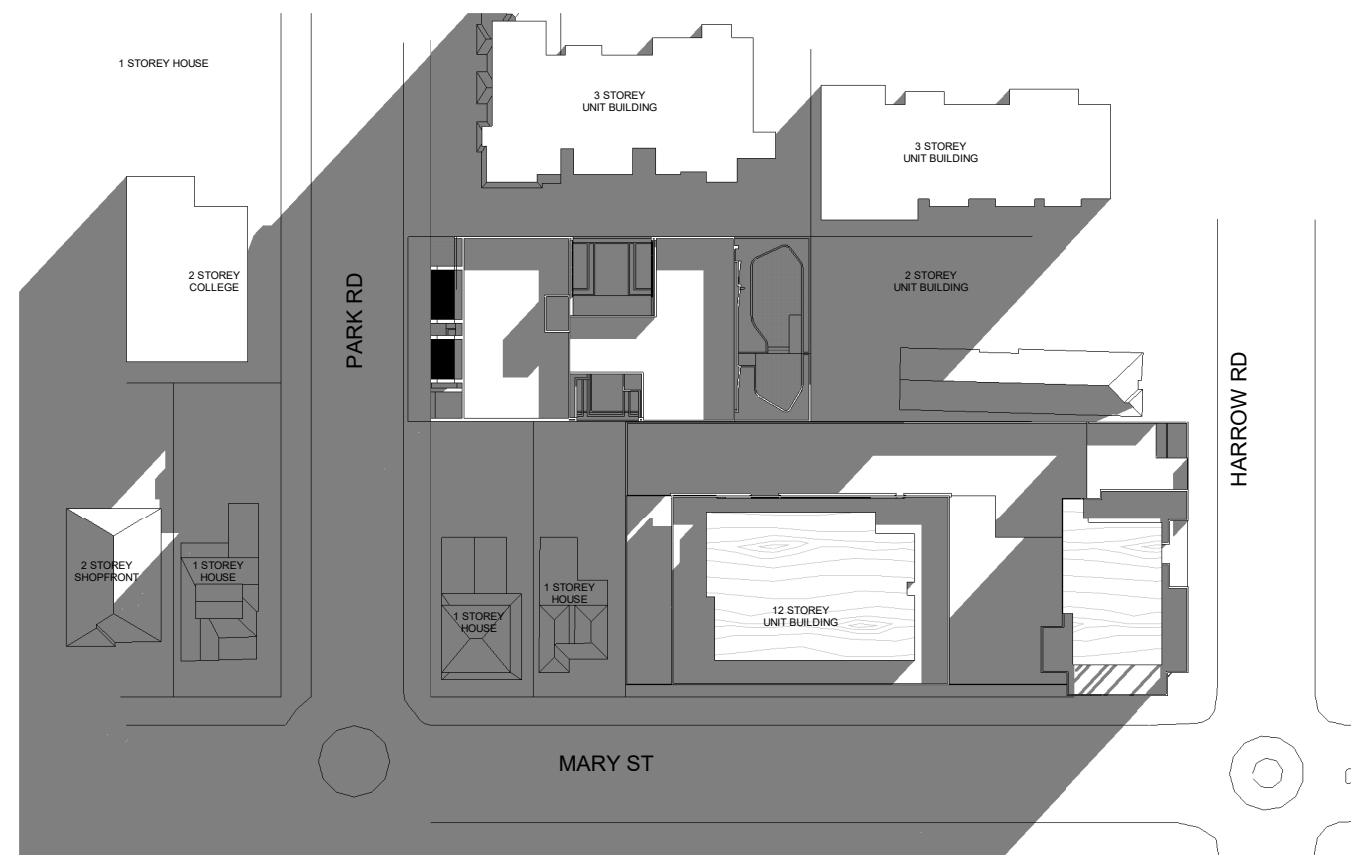
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Drawing Title
Shadow Diagram - 21 March

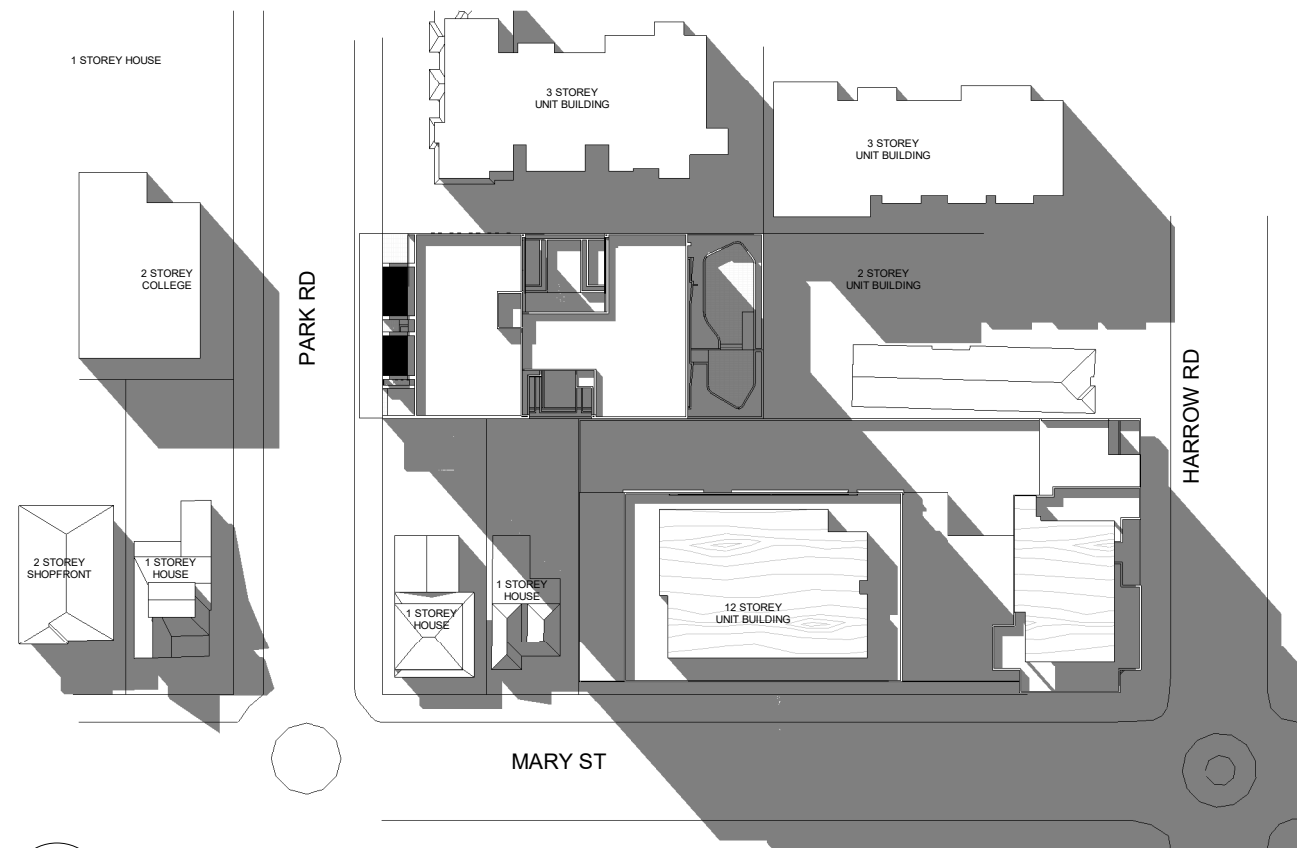
Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 1000 @A3	A 6.00	DA	F



1 Shadow Diagram - 21 June 9 am
1 : 1000



2 Shadow Diagram - 21 June 12 pm
1 : 1000



3 Shadow Diagram - 21 June 3 pm
1 : 1000

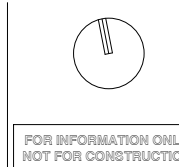
Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	15/04/2020
B	ISSUE FOR DA SUBMISSION	17/07/2020
C	ISSUE FOR DA AMENDMENT	11/12/2020
D	ISSUE FOR DA AMENDMENT	07/09/2021
F	ISSUE FOR S34	06/10/2021

Client Name
Stella Developments

Project Name
22-24 PARK ROAD, AUBURN

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Drawing Title
Shadow Diagram - 21 June

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 1000 @A3	A 6.01	DA	F



1 Shadow Diagram - 21 September 9 am
1 : 1000



2 Shadow Diagram - 21 September 12 pm
1 : 1000



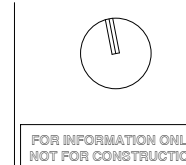
3 Shadow Diagram - 21 September 3 pm
1 : 1000

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	15/04/2020
B	ISSUE FOR DA SUBMISSION	17/07/2020
C	ISSUE FOR DA AMENDMENT	11/12/2020
D	ISSUE FOR DA AMENDMENT	07/09/2021
F	ISSUE FOR S34	06/10/2021

Client Name
Stella Developments

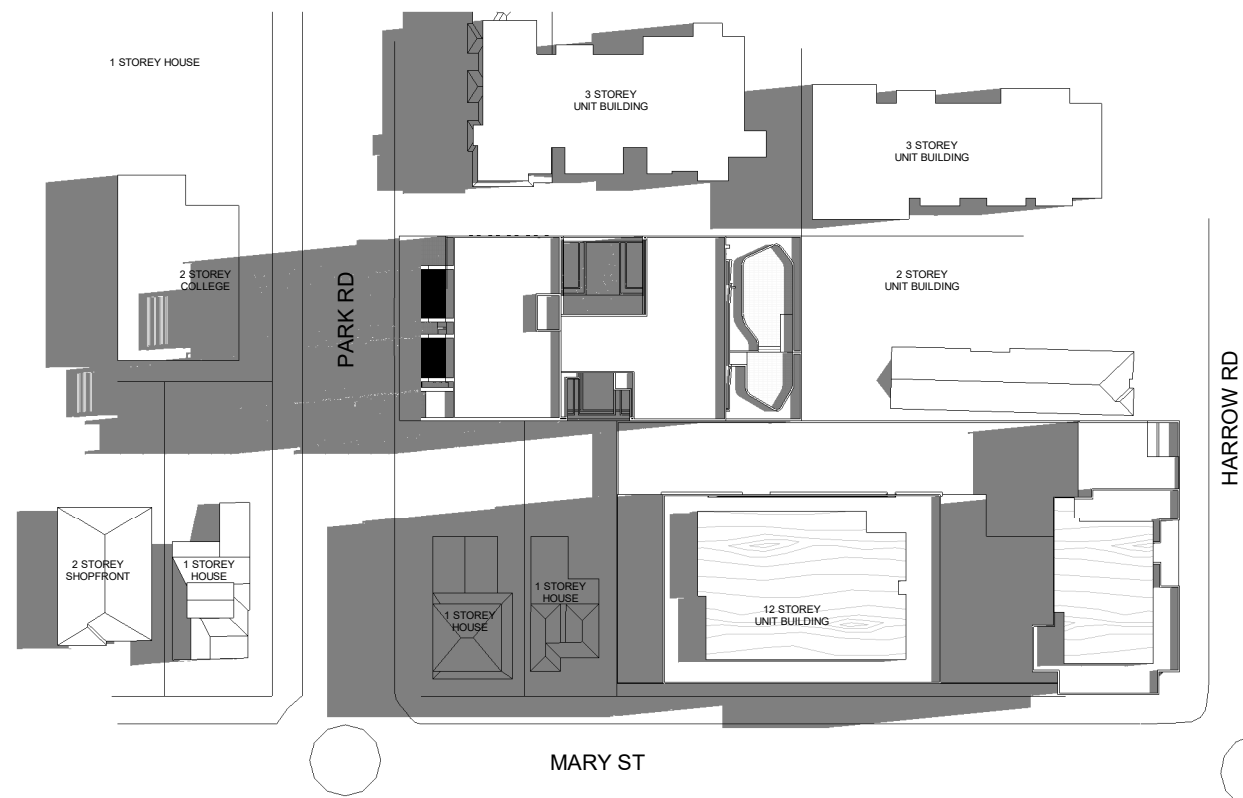
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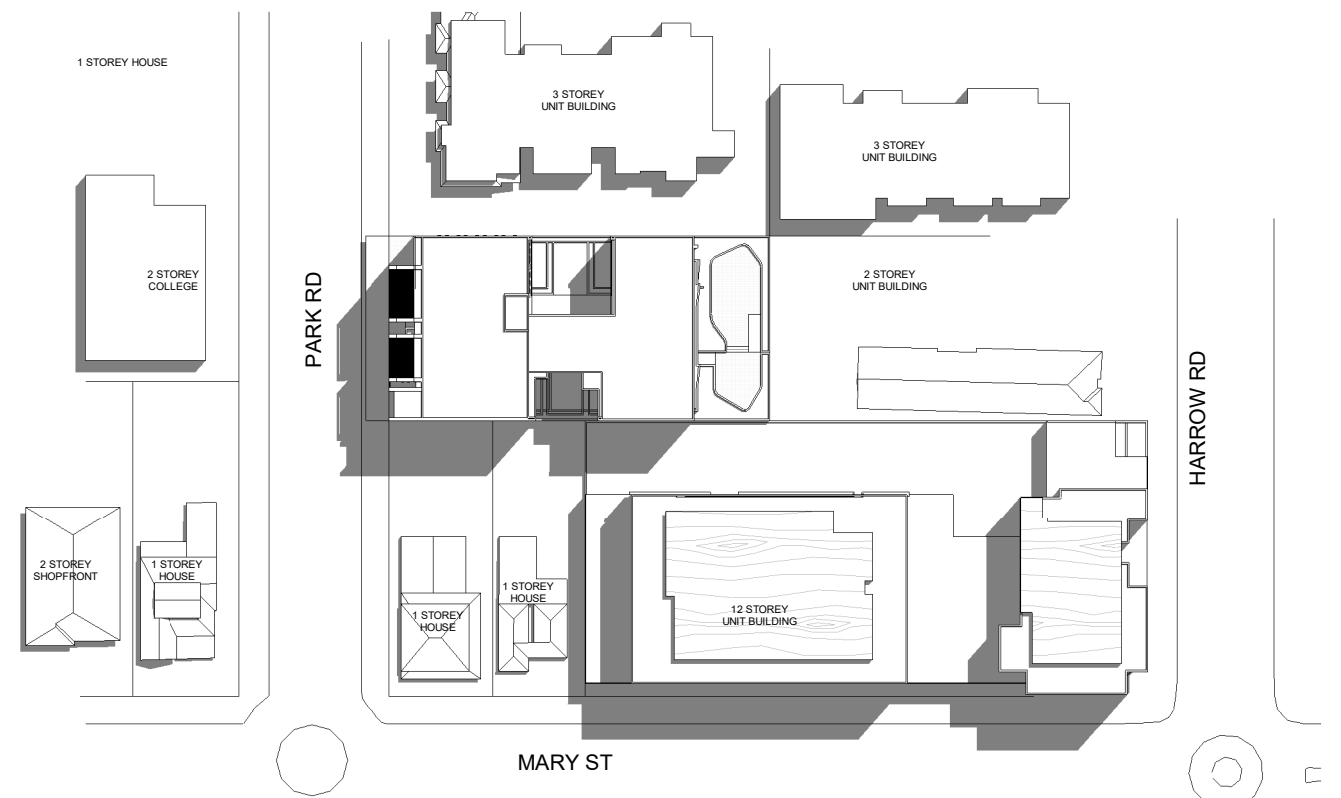


Drawing Title
Shadow Diagram - 21 September

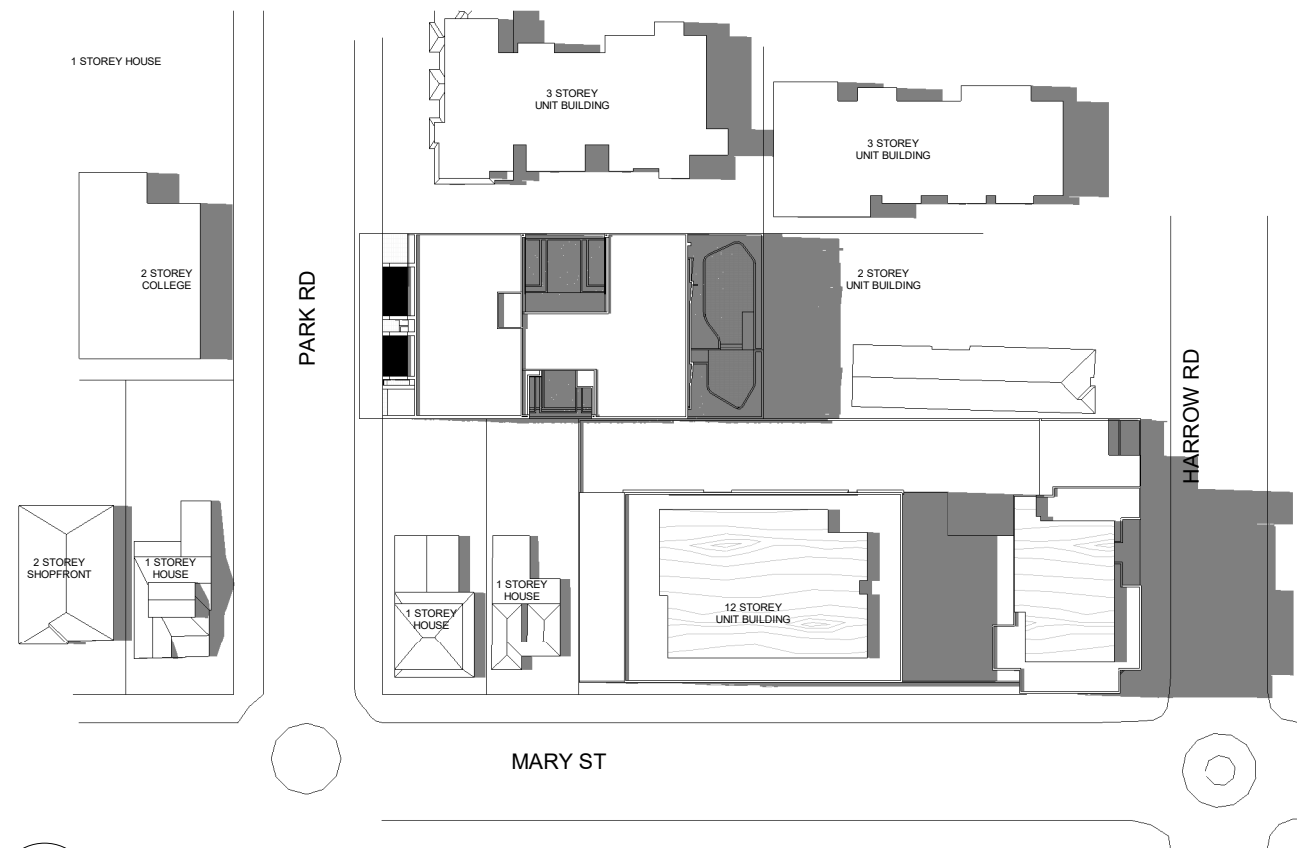
Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 1000 @A3	A 6.02	DA	F



1 Shadow Diagram - 21 December 9 am
1 : 1000



2 Shadow Diagram - 21 December 12 pm
1 : 1000



3 Shadow Diagram - 21 December 3 pm
1 : 1000

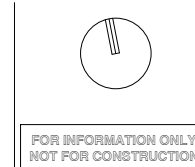
Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	15/04/2020
B	ISSUE FOR DA SUBMISSION	17/07/2020
C	ISSUE FOR DA AMENDMENT	11/12/2020
D	ISSUE FOR DA AMENDMENT	07/09/2021

Client Name
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Project Name
22-24 PARK ROAD, AUBURN

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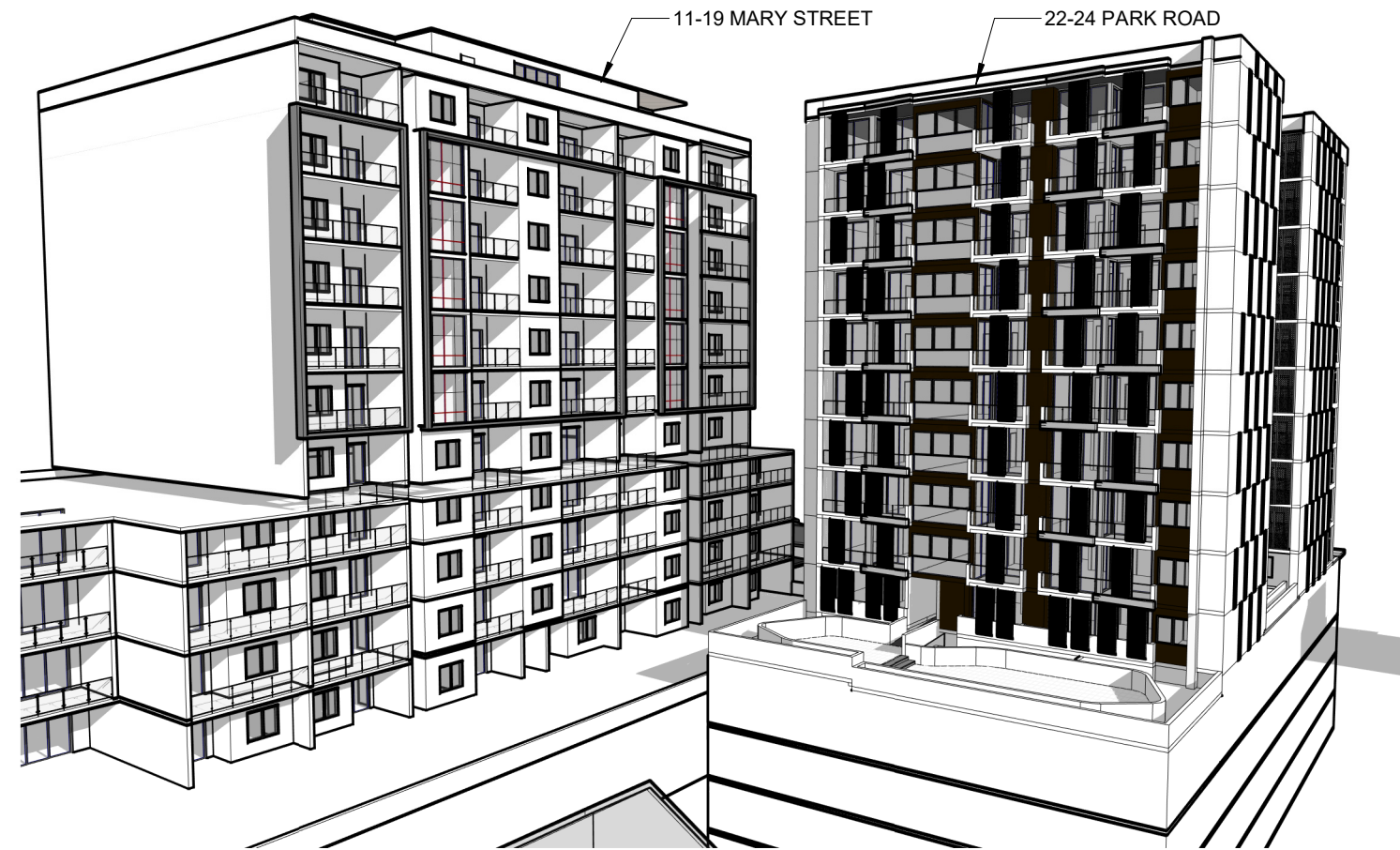


Drawing Title
Shadow Diagram - 21 December

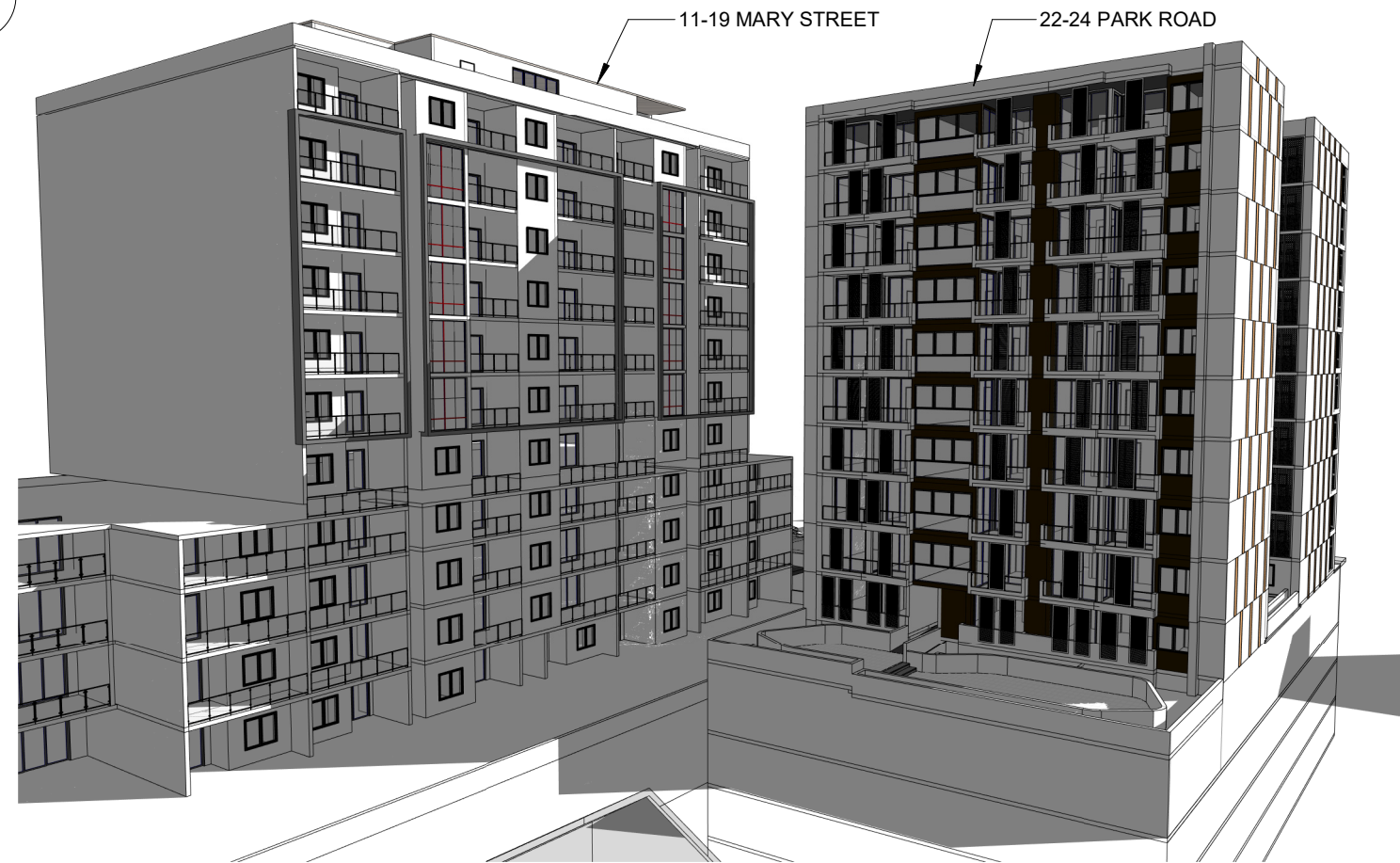
Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 1000 @A3	A 6.03	DA	D



1 SHADOW IMPACT - 21 JUNE 9AM



2 SHADOW IMPACT - 21 JUNE 12AM



3 SHADOW IMPACT - 21 JUNE 3PM

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	15/04/2020
B	ISSUE FOR DA SUBMISSION	17/07/2020
C	ISSUE FOR DA AMENDMENT	11/12/2020
D	ISSUE FOR DA AMENDMENT	07/09/2021
F	ISSUE FOR S34	06/10/2021

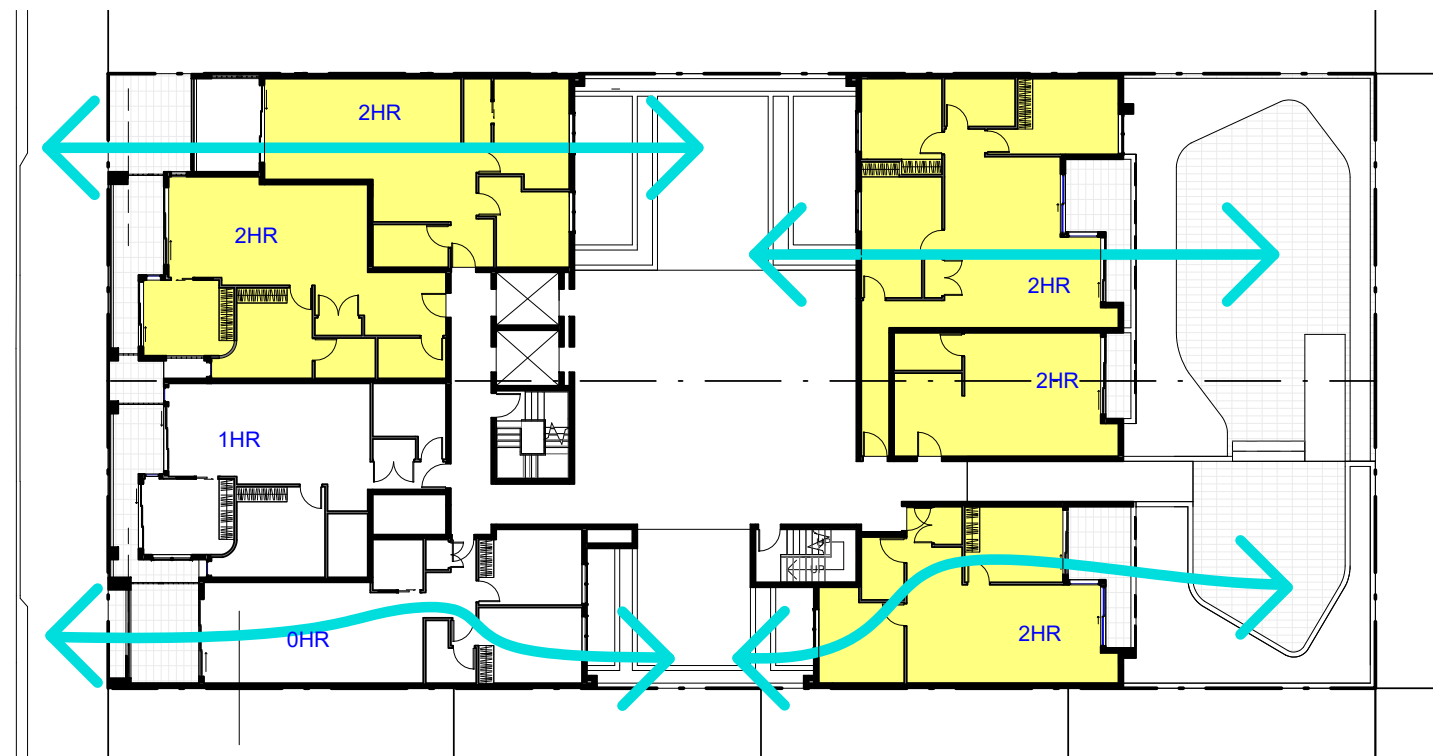
Client Name
Stella Developments
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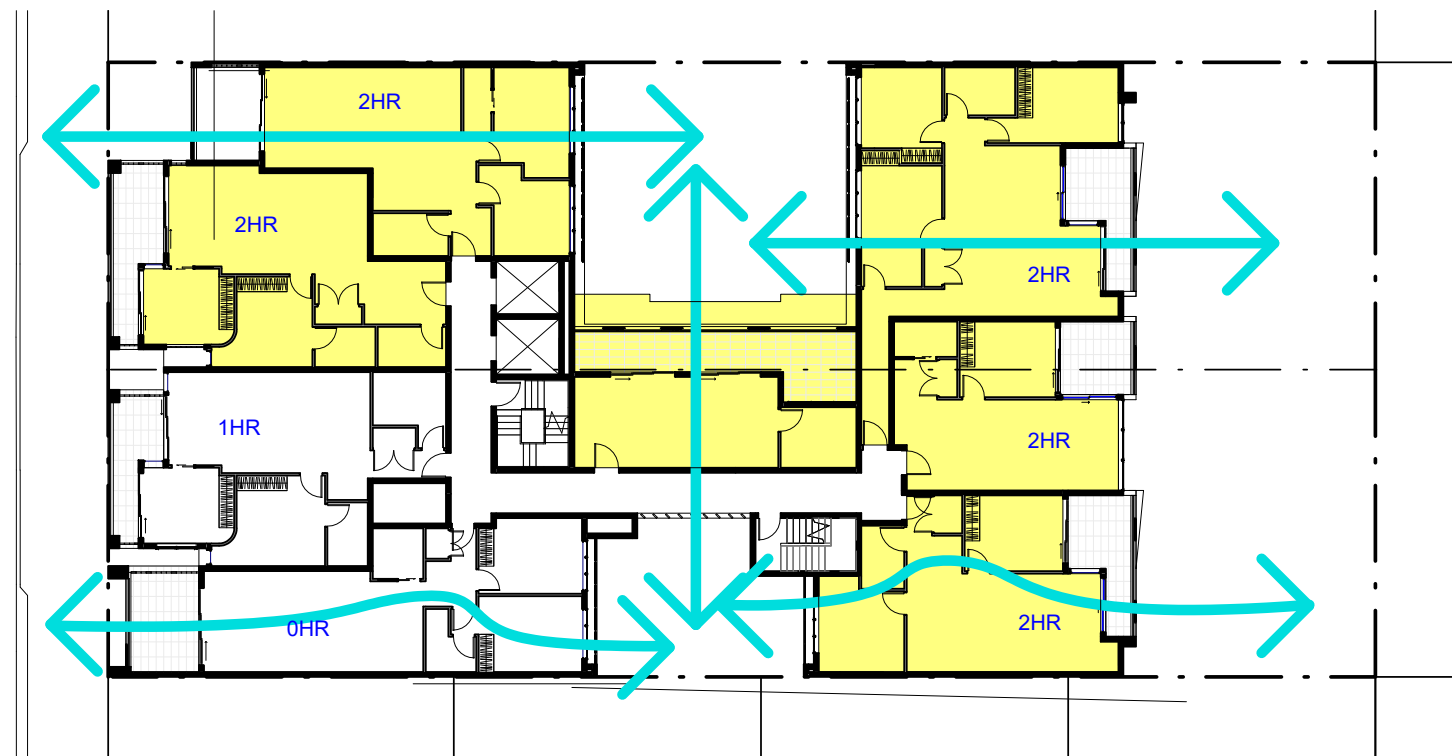
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Drawing Title
Shadow Impact - 21 June

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	@A3	A 6.04	DA	F



1 Level 1
1 : 300



2 Level 2-10
1 : 300

10 OUT OF 79 UNITS RECEIVE NO
DIRECT SUNLIGHT 12.6%

TOTAL 79 UNITS
Solar Access 59 UNITS = 74.7%
Ventilation 49 UNITS = 62%

- ✓ Rules of Thumb
 - Living rooms and private open spaces for at least 70 percent of apartments in a development should receive a minimum of three hours direct sunlight between 9 am and 3 pm in mid winter. In dense urban areas a minimum of two hours may be acceptable.
- ✓ Rules of Thumb
 - Sixty percent (60%) of residential units should be naturally cross ventilated.

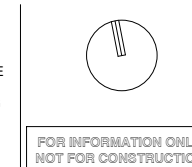
— CROSS VENTILATION
— SOLAR ACCESS

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	15/04/2020
B	ISSUE FOR DA SUBMISSION	17/07/2020
C	ISSUE FOR DA AMENDMENT	11/12/2020
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Client Name
Stella Developments

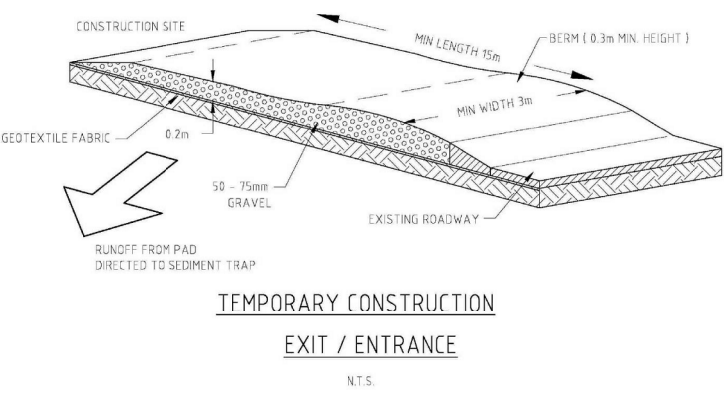
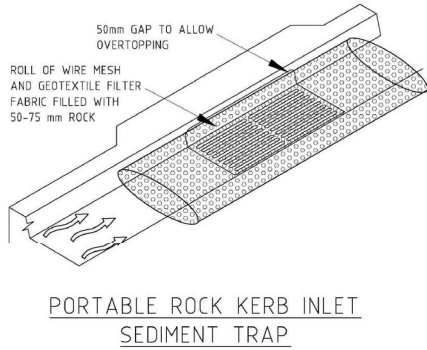
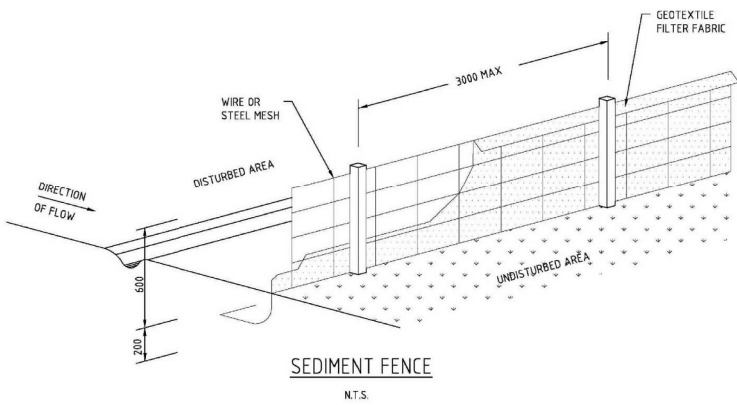
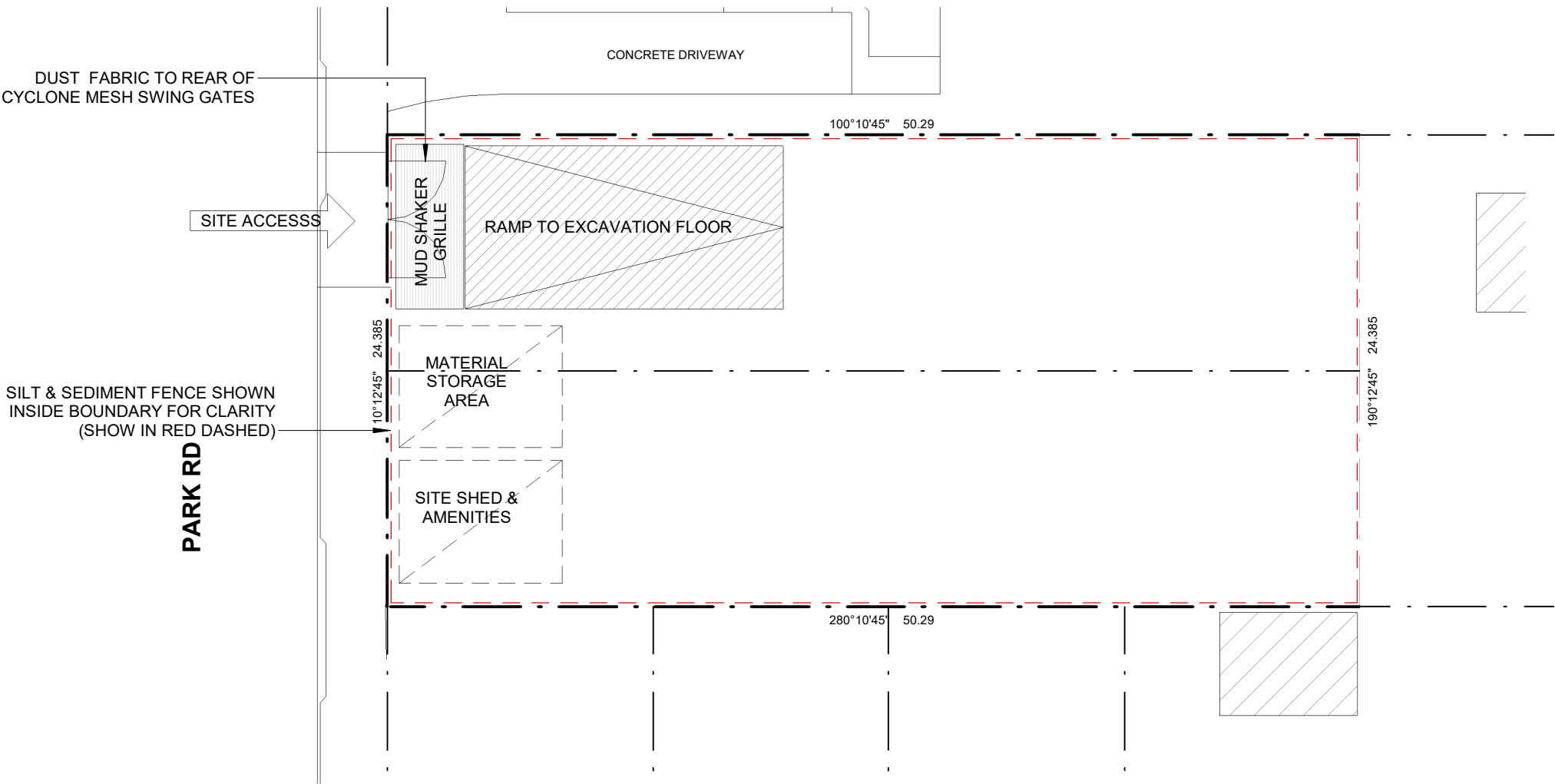
Project Name
22-24 PARK ROAD, AUBURN

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Drawing Title
Cross Ventilation and Solar Access

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	As indicatedA3	A 6.10	DA	F



Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	15/04/2020
B	ISSUE FOR DA SUBMISSION	17/07/2020
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Client Name
Stella Developments

Project Name
22-24 PARK ROAD, AUBURN

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Drawing Title
Site Management Plan

Job No.	Scale	Drawing No.	Stage	ISSUE
A14019	1 : 300 @A3	A 6.20	DA	D

